

# Innovation Campus Health and Wellbeing Precinct

## Appendix B Urban Design Guidelines

Issue O  
19 March 2024



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Issue O  
19 March 2024

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VERSION NO.	DATE OF ISSUE	REVISION BY	APPROVED BY
Issue C	21.12.21	PN	II
Issue D (DRAFT)	15.09.22	PN	II
Issue E (DRAFT)	23.09.22	DP	II
Issue F (DRAFT)	26.09.22	PN	II
Issue G (DRAFT)	07.10.22	PN	II
Issue H (DRAFT)	14.10.22	PN	II
Issue I (DRAFT)	16.11.22	PN	II
Issue J (DRAFT)	22.12.22	PN	II
Issue K (DRAFT)	03.08.23	PN	II
Issue L	29.09.23	II/DP	II
Issue M	30.11.23	PN	II
Issue N	13.03.24	PN	II
Issue O	19.03.24	PN	II
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## Acknowledgement of Country

We acknowledge the Wodi Wodi (Dharawal) people, the Traditional Owners of the Country that this report concerns.

We acknowledge the many other First Nations people who have connection to this Country and the Traditional Custodians of the many lands on which we live and work.

We pay respect to First Nations Elders past and present and thank them for their continuing care of Country, culture, and community.





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# Executive Summary

This Urban Design Guide (UDG) document has been prepared on behalf of the University of Wollongong (UOW) for the southern portion of the UOW Innovation Campus. It is based on the Concept Development Application (Concept DA) that was lodged for the precinct in January 2021 by the UOW that supports a new Health and Wellbeing Precinct (H&WP) with a variety of interrelated uses including aged care, retirement living, research and education, community facilities, childcare, retail, and recreational parkland embedded within the existing Innovation Campus.

The H&WP marks the next phase of the development of the Innovation Campus and is key to realising the University's long-term vision for the future of health in the Illawarra region. As one of Australia's first inter-generational university communities, it will serve as a place for living, learning, working, and growing. The setting outlined for the future precinct will support the ongoing physical, social and mental health and wellbeing of its residents. Through the integration of research, clinical practice, and patient-led care the design of the precinct will also improve the preventative healthcare.

The H&WP will seek to deliver the following uses within the precinct to realise this vision:

1. Seniors Housing, including Independent Living Apartments (ILAs) and a Residential Aged Care Facility (RACF)
2. New Central Green Space and Community Facilities
3. Childcare co-located with the RACF

This UDG has been prepared to ensure that high level-built form, land use and public domain outcomes are realised throughout the life of the precinct's development. Ethos Urban have worked with PTW, Scape Design and Keyton to prepare the urban design analysis and guidelines (the Urban Design Guidelines).

The objectives of the urban design guideline document are to:

- Provide clear Urban Design guidance on public domain design outcomes that are compatible with the proposed land uses.
- Set clear Urban Design guidance on built form that enable council to review future proposals with certainty.
- Integrate Connecting with Country approaches develop a stronger design culture within council and the community.

The Urban Design Guidelines document is broadly divided into six parts:

1. Site Analysis
2. Key Themes and Principles
3. Public Realm Controls
4. Precinct Level Controls
5. Site-specific Built Form Controls
6. Sleeved Uses and Active Frontage Controls

The urban design analysis included in this UDG is presented at a site and precinct scale. It acknowledges the broader context that includes the coastline along with the Illawarra Escarpment as part of a Connecting with Country process initiated by milli milli and Waters Consultancy which enabled First Nations perspectives to be considered and shaped our understanding of the natural environment and its relationship to place. In turn, this process has helped shape design outcomes that are reflected in the public domain and built form principles that underpin this UDG.

This guide also includes feedback and information from the Wollongong City Council and its Design Review Panel in response to additional information provided between July 2021 and September 2023.









**1.0**

# **STATUTORY CONTEXT**



# 1.0 Statutory Context

## 1.1 The Site

The site of the Proposed Concept DA for the H&WP includes a 3.5-hectare parcel of land located at the southern portion of the UOW Innovation Campus. The redevelopment of the UOW Innovation Campus is subject to the controls identified under the Wollongong DCP (WDCP) 2009, Chapter D14.



01 Location of the UOW Health and Wellbeing Precinct within the UOW Innovation Campus  
Source: PTW & Ethos Urban

LEGEND

UOW Innovation Campus

UOW Health and Wellbeing Precinct



## 1.2 The Proposed Concept DA

Identified as a location for research and education, the expansion of the UOW Innovation Campus to include a Health and Wellbeing Precinct is a direct response to the ageing demographic make up of the local area. By combining the benefits of research and education with seniors housing components (ILAs and RACF) with co-located childcare, wellness and community facilities, a holistic approach to care for an ageing population may be realised. The Concept DA outlines a concept master plan for Phase 1 including:

- Two Independent Living Apartments (ILAs) that will feature quality facilities for residents and approximately 230-235 apartments and integrate community facilities including an intergenerational hub, wellness centre, retail and research and education spaces;
- A Residential Aged Care Facility (RACF) with approximately 120-144 beds, co-located with a Childcare Centre with approximately 80-100 places;
- New Pedestrian Spine and public open space infrastructure to support the broader precinct including:
  - Pedestrian Spine - a north-south pedestrian walkway connecting the existing campus to the Green Heart and future Phase 2 of the H&WP;
  - Green Heart - a new large, green open space situated at the heart of the H&WP and open to the whole community;
- New road infrastructure for the H&WP, including an entry and arrival to the H&WP that incorporates a deceleration lane and signalised pedestrian crossing just south of the Squires Way entry, and a new pick up and drop off area for residents, students, staff and visitors.

A Community Health Building (CHB), a university-operated building combining community health services with a significant focus on teaching and research activities in health-related disciplines is also proposed to be a part of the H&WP. However, the CHB is not part of this Concept DA and will be subject to a separate future State Significant Development Application (SSDA).

Detailed DA documentation forms part of this Concept DA. The Detailed DA comprises the first stage of physical works, which includes earthworks, ancillary remediation works, public realm works (roads, paths, landscaping) and services provision (storm water, electrical, etc.). Refer to the Detailed DA for further information.



02 Concept DA illustrative master plan (not for approval)  
Source: Scape Design & Ethos Urban

NOT TO SCALE



### 1.3 Indicative Future Stage

The figure on the right illustrates the indicative future stage of the H&WP and demonstrates how the H&WP may align with the overarching principles of the Precinct Plan outlined in the WDCP in the future. It includes the following:

- 1 Extension of Innovation Way to the south to connect back to Squires Way.
- 2 Widening of the Shared Service Road to become a two-way street.
- 3 New pedestrian link connecting the eastern end of the Shared Service Road with Squires Way.
- 4 New university buildings to the south of the Shared Service Road.
- 5 Extension of the Pedestrian Spine to the south to arrive at a forecourt / ceremony space in front of the new university buildings.
- 6 Landscaped area in between the new university building and Squires Way.
- 7 New signalised intersection at the intersection of the extended Innovation Way and Squires Way.
- 8 New footpath on the western side of Squires Way connecting the extended Innovation Way to High Street.

**This future stage illustrative master plan on the right is indicative only and is not for approval. It is not part of this Concept DA and thus is not included as part of this UDG.**



03 Indicative future stage illustrative master plan (not for approval)  
Source: Scape Design & Ethos Urban

SCALE 1:2000 @ A3

#### LEGEND

--- Indicative future stage (not for approval)



## 1.4 Scope of this UDG

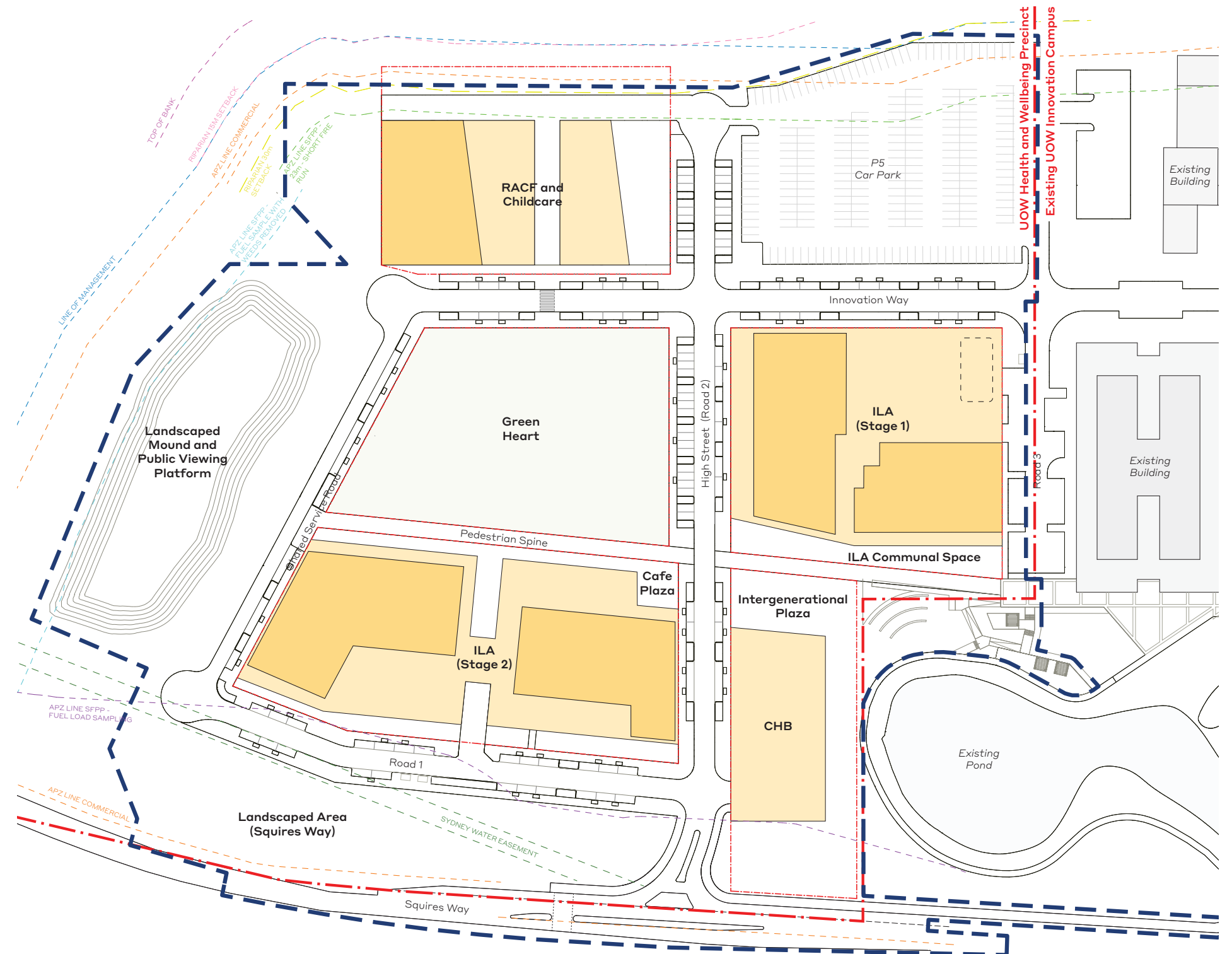
This UDG has been prepared to establish a series of robust principles which will be used to guide future development for the H&WP and provide additional information on how the interfaces to the proposed built form should respond to road and open space infrastructure as well as its interface to adjacent built form.

This UDG will provide guidelines for the following elements within the H&WP:

- Public realm
  - Streets
  - Key open spaces
- Built form
  - ILA (Stage 1)
  - ILA (Stage 2)
  - RACF and Childcare
  - CHB

### Inclusion / Exclusions:

- While this UDG will apply to the CHB, the CHB is not part of the Concept DA and will be subject to a separate future SSDA.
- While this UDG includes guidelines for the Landscaped Mound and Public Viewing Platform, it does not include guidelines around the indicative future stage of the H&WP in this location.



04 Scope of this UDG

SCALE 1:1500 @ A3

### LEGEND

<span style="border: 2px dashed red; padding: 2px;"> </span>	UOW Health and Wellbeing Precinct boundary	<span style="border-bottom: 2px dashed blue; width: 20px;"> </span>	Line of management	<span style="border-bottom: 2px dashed purple; width: 20px;"> </span>	APZ line (SFPP - fuel load sampling)	<span style="border-bottom: 2px dashed orange; width: 20px;"> </span>	APZ line (commercial)
<span style="border: 2px dashed blue; padding: 2px;"> </span>	Area to which this UDG applies	<span style="border-bottom: 2px dashed yellow; width: 20px;"> </span>	Riparian 30m setback	<span style="border-bottom: 2px dashed cyan; width: 20px;"> </span>	APZ line (SFPP - fuel sample with weeds removed)	<span style="border-bottom: 2px dashed pink; width: 20px;"> </span>	Top of bank
<span style="border: 2px dashed red; padding: 2px;"> </span>	Lot boundaries	<span style="border-bottom: 2px dashed magenta; width: 20px;"> </span>	Riparian 15m setback	<span style="border-bottom: 2px dashed green; width: 20px;"> </span>	APZ line (SFPP - 23m - short fire run)	<span style="border-bottom: 2px dashed green; width: 20px;"> </span>	Sydney Water easement
<span style="border: 2px dashed grey; padding: 2px;"> </span>	Future university buildings (indicative)						









**2.0**

# INTRODUCTION



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## 2.0 Introduction

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### 2.1 The Health & Wellbeing Precinct

The Health and Wellbeing Precinct (H&WP) Phase 1 is the next phase of development for the Innovation Campus and is key to achieving the University's vision for the future of health in the region. The Precinct is Australia's first Intergenerational University Community and is underpinned by the vision of Living Well Longer. It has been conceived of as a place for living, learning, working, and growing in an environment that supports complete physical, social and mental health and wellbeing.

Through integrating non-surgical health care and seniors living within a thriving research and teaching environment, the H&WP aims to translate research into action. It will do this by developing and delivering new models of patient-centred care with a particular focus on issues facing older people including aged care, mobility, mental health, and dementia.

The H&WP is a staged development, which when complete will include independent living apartments, residential aged care, childcare, community spaces and public realm that is to be integrated carefully back into the existing Innovation Campus. The development of the H&WP represents a growing trend in Innovation Precincts globally that aim to bring together services and amenities capable of supporting communities in a sustainable way and to connect these with businesses, industry, and research partners to drive collaboration and encourage local employment and economic growth for the area.

The benefits of co-locating and embedding the H&WP within the Innovation Campus has the potential to significantly improve the health outcomes for people in the community and the wider Illawarra and Shoalhaven. These include:

- A considered approach to the initial positioning and design of the ILA and RACF to ensure residents are near community health services and ensuring they are easily accessible, thereby increasing the likely participation and permission to use patient data in research projects.
- Helping residents maintain a sense of belonging and independence within the same Campus community by having services and facilities easily accessible;
- Enabling immersive intergenerational research programs which advance innovations in the areas of ageing, dementia, quality of life, mental health and other related fields;
- Facilitating participation of the ILA and RACF residents with UOW research, teaching and learning opportunities, volunteering, mentoring and community outreach programs;
- Provision of on Campus and innovation partner networks for long term student placements from across a range of faculties and programs;
- Enabling supervisors and students to develop consistent and closer relationships with patients to enable the development of innovative methods of patient centred care;
- Application of passive design approaches for research programs, including built environment and pilot study on living environments;
- Empowering residents to 'age in place' by staying in the one location, whereby alleviating the isolation effects that transportation challenges can have;
- Embedding commercial and university uses to facilitate the quicker integration and commercialisation of research and development.

#### The Legacy

The research potential extends beyond the initial design and delivery, with ongoing research projects to be pursued through the operational phase. The H&WP is intended to foster collaborative research and development initiatives and to demonstrate the community benefits that can result from close interaction between a major research-intensive university, industry and primary healthcare providers. It will deliver on this core objective of the Innovation Campus by creating an environment that fosters cutting edge research and innovation in health and ageing thereby attracting increased research funding, commercialisation, product, and business creation.

In the longer term, an approach such as this has the capacity to enabled older people to remain healthy and active members of their community and consequently reduce the need for residential aged care and serve as an exemplar of how to approach retirement and aged care development across Australia.



## 2.2 Design Policies

### 2.2.1 Better Placed

*The Office of the Government Architect, NSW, 2017*

The Government Architect NSW has prepared Better Placed, an integrated design policy for the built environment of NSW that establishes principles to support better design and create good places within NSW. The policy also advocates the support of design excellence of future development to create better quality places. This may utilise existing tools, such as design review panels, competitive design processes and guidelines and manuals to encourage support design excellence as part of future development proposals. In this document, seven objectives for the built environment are identified:

- Better Fit - contextual, local and of it's place
- Better Performance - sustainable, adaptable and durable
- Better for Community - inclusive, connected and diverse
- Better for People - safe, comfortable and liveable
- Better Working - functional, efficient and fit for purpose
- Better Value - creating and adding value
- Better look and feel - engaging, inviting and attractive
- Better Placed is part of a suite of documents that the NSW Government is preparing to advocate good design.
- The document also advocates Design as a process and an outcome, that is constituted of three core collaborative steps - 'Discover', 'Create' and 'Deliver'.



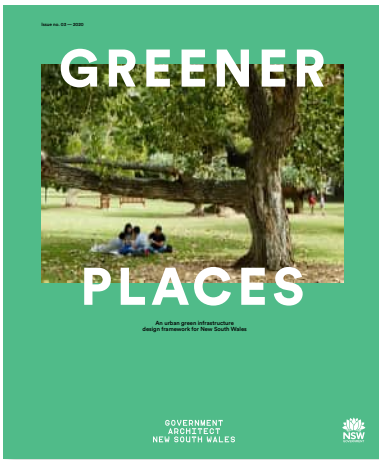
### 2.2.2 Greener Places

*The Office of the Government Architect, NSW, 2017*

The Government Architect NSW has prepared Greener Places to guide the planning, design and delivery of Green Infrastructure in urban areas across NSW. The vision for the policy is to establish a network of well-planned Green Infrastructure that will make NSW more attractive, better connected, healthier and more resilient.

The policy outlines the following principles for well-designed Green Infrastructure:

- Integration – The principle of integrating green space with urban development and hard infrastructure (e.g. roads, storm-water drainage)
- Connectivity – promoting a network of high quality open spaces that connect with other areas of activity, such as town centres, public transport hubs, rivers, creeks and employment and residential areas. This aims to create a network of open space through the Central City District and Greater Sydney region.
- Multi-functionality - where design of green spaces provides a range of benefits in one area through careful planning. This may include the simultaneous function of green spaces for ecosystem, environmental and other services
- Participation – where stakeholders are involved in the development and implementation of neighbourhood, local, district and regional Green Infrastructure policies.value and respect Aboriginal cultural knowledge with Aboriginal people co-leading design and development of all NSW infrastructure projects.



## 2.3 Connecting with Country

### 2.3.1 Connecting with Country Framework

The Government Architect NSW (GANSW) Connecting with Country framework was finalised in July 2023. The Framework asks project teams, their clients and leaders to make a clear commitment to act in ways that can deliver positive outcomes for Country and community.

The health and wellbeing of Country will help to:

- Reduce the impacts of natural events such as fire, drought, and flooding through sustainable ways of using land and water.
- Value and respect Aboriginal cultural knowledge with Aboriginal people co-leading design and development of all NSW infrastructure projects.
- Ensure Country is cared for appropriately and sensitive sites are protected by Aboriginal people having access to their homelands to continue their cultural practices.
- Support the central commitment, new practices and ways of working, actions and outcomes for built environment projects are proposed.

Referencing the guidance provided by the GANSW Connecting to Country framework, the following approach was taken for this project, which has included the engagement of milli milli and Waters Consultancy to assist in:

- Onitiating a process of consultation and collaboration between the local Aboriginal knowledge holders, relevant stakeholders and the project team.
- Working together to understand the cultural significance of the site to ensure that the interpretation and translation of design approaches to the H&WP is informed by and responds to Country.
- Ensuring that the public spaces in the H&WP are inclusive and accessible to the broader First Nations community.

Longer term aspirations for the development

- Seek out opportunities for Aboriginal-owned businesses to partner with throughout the project, including ongoing partnerships following project completion.
- Identity/ provide education and employment opportunities for the local Aboriginal community (e.g. through scholarships and apprenticeships).



2.3.2 Overview of Process

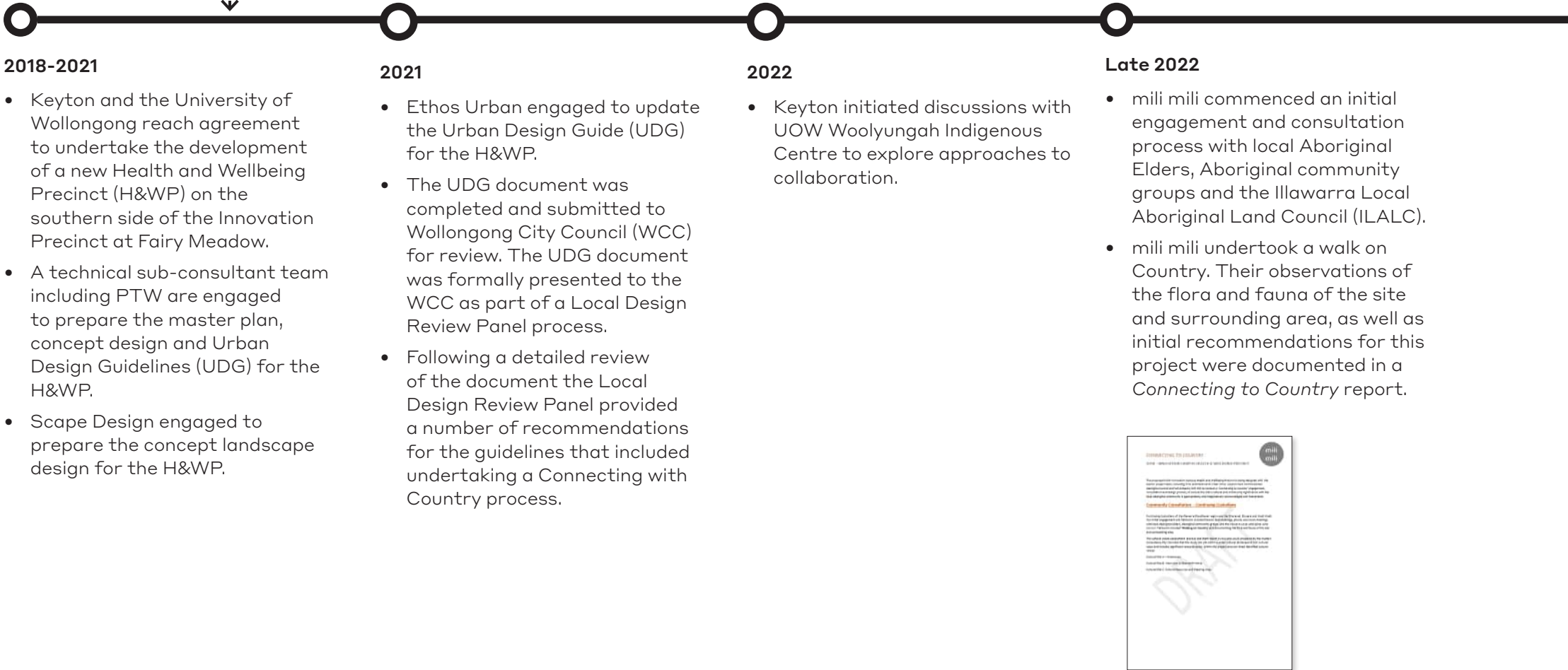
Keyton (previously Lend Lease) engaged the following consultants to lead and guide the Connecting with Country process for this project to ensure that the site's cultural significance is appropriately acknowledged and interpreted in a meaningful manner:

- mili mili:
  - An Aboriginal owned and led company to act as the project's Connecting to Country consultant.
- Waters Consultancy
  - To prepare a Cultural Values Assessment Report (CVAR) for the site.

The time line on the right summarises our collaborative approach to Connecting with Country for this project. We recognise that Connecting with Country is and will be an ongoing process and that the time line on the right only captures an overview of the process to date. Ongoing consultation and engagement will be required as the project continues to develop in the future and beyond project completion.



**2020**  
Draft Connecting with Country framework released by GANSW.







### 5 June 2023

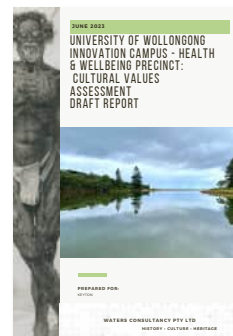
- A workshop was facilitated by Waters Consultancy, mili mili and PTW on Country with members of the local First Nations community.
- Following the workshop, representatives of the local First Nations community met with the wider design team to discuss some of the opportunities that this development can provide the community.
- A Walk on Country with mili mili, Keyton, PTW, Scape Design, Ethos Urban, selected local First Nations stakeholders and knowledge holders.



05 Walk on Country with mili mili, Keyton, PTW, Ethos Urban, selected local First Nations stakeholders and knowledge holders.

### June 2023

- Waters Consultancy completes an intangible Aboriginal Cultural Values Assessment within the Heritage NSW framework and prepared a *Cultural Values Assessment Draft Report*, which identified three key cultural values / sites and 16 recommendations.



28-day review process of the Draft CVAR and CHAR (26 June - 23 July 2023)

### 30 June 2023

- A site visit was undertaken by Waters Consultancy, Keyton and Ethos Urban.
- The site visit included a visit to both the site and to Djeera (Mt Keira) to observe the site within the context of the Illawarra escarpment and the coastline .
- The conversation between those on Country revealed a number of important themes that have formed a Designing with Country approach.



06 Design team site visit with Waters Consultancy



### July 2023

Finalised Connecting with Country framework released by GANSW.

### July - August 2023

- Visual Impact Assessment (VIA) undertaken by Ethos Urban that considers view impacts within and around the site to Djeera (Mt Keira) and Djembla (Mt Kembla).
- Designing with Country Report by Scape Design outlining the Landscape strategy to address CVAR and CwC Report recommendations.

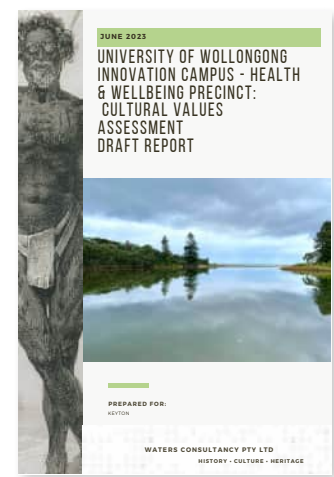
### September - November 2023

- Updated master plan by PTW and landscape design by Scape Design, capturing key Connecting with Country opportunities.

### Ongoing



2.3.3 Summary of Connecting with Country Report and Cultural Values Assessment Report



Cultural Values Assessment Report by Waters Consultancy

The Cultural Values Assessment (CVAR) supports the application of the principles and commitments of the New South Wales Government Architect's Connecting with Country Framework (NSWGA Framework) through working to strengthen understanding and respect for the cultural values of this Country. To date, the CVAR process has included:

- 1)Engagement with First Nations knowledge holders and community
- 2) Review of statutory context
- 3) Overview of historical context of Country
- 4) Assessment of intangible cultural values and significance
- 5) Recommendations

The recommendations have been developed to safeguard the identified cultural heritage values and celebrate and respect Country.

These are indicated below :

- Ensure there is no construction impact on Cultural Site A: Waterways (Cabbage Tree Creek, Para (Fairy) Creek, Towradji Arm) including riparian zones.
- Ensure that Cultural Site B: View Lines to Djeera (Mt Keira) is maintained from the Project site: Undertake a view line analysis with review by a cultural values specialist through engagement with First Nations cultural advisors and knowledge holders.
- Ensure rehabilitation and re vegetation of waterways and riparian corridor: Local native plant species to be utilised in rehabilitation and re vegetation.
  - Local plant species utilised for cultural activities should be incorporated, including riparian plant species for waterway rehabilitation.

- The identification of appropriate cultural plant species should occur through engagement with local First Peoples community members and identified cultural advisors and knowledge holders.
- Existing native vegetation within the Project site should be retained as a priority wherever possible. In particular, healthy individuals from culturally significant tree species should be retained.
- Support the movement of fauna through provision of green corridor connectivity to other green spaces including providing wildlife crossings on Squires Way to maintain connectivity between Cabbage Tree Creek and Towradji Arm.
- Ensure the inclusion of a culturally welcoming informal gathering space that supports everyday use and community events for First Nations people on Country. Design must occur through engagement with First Nations stakeholders (including cultural advisors and knowledge holders, RAPs, and community representatives) to ensure cultural appropriateness.
- Develop a First Nations Cultural Trail within the built environment and open green space of the Project site incorporating:
  - culturally significant plants utilised by First Nations
  - people for foods, medicines, and resources.
  - interpretative and educational signage on Country plants, cultural values, and First Peoples history.
  - and artwork reflecting Country and cultural narratives.
- Design and interpretation content must be developed through engagement with First Nations stakeholders (including cultural advisors and knowledge holders, RAPs, and community representatives) to ensure cultural appropriateness.
- Use local Dharawal language in the naming of infrastructure including parks, buildings, and streets, and applied within design and interpretative elements.



- Identification of appropriate language names must occur through engagement with First Nations stakeholders (including cultural advisors and knowledge holders, RAPs, and community representatives) to ensure cultural appropriateness.
- Preference to be given to local First Nations organisations (that meet contract requirements) for engagement for re vegetation and landscaping works.
- Prepare and implement an Aboriginal Heritage Management Plan (AHMP). The AHMP should provide specific guidance on legislative requirements alongside measures and controls to be undertaken to avoid and mitigate impacts on First Nations cultural heritage during construction. This should
- include protection measures to be applied during construction and including but not limited to the recommendations set out in this table, as well as contractor training in general Aboriginal cultural heritage awareness and management of Aboriginal cultural heritage values.
- The cultural knowledge holders state that the potential for ancestral Aboriginal human remains within this cultural landscape is high and must be considered in the AHMP.

Through a combination of contemporary Urban Design analysis and walking Country with First Nations stakeholders and cultural advisors including Waters Consultancy, a number of key guiding themes have been developed to enable a translation of ideas into the Master Plan.

These themes have been applied across the Urban Design Guide as a response to each of the recommendations outlined in the CVAR document.



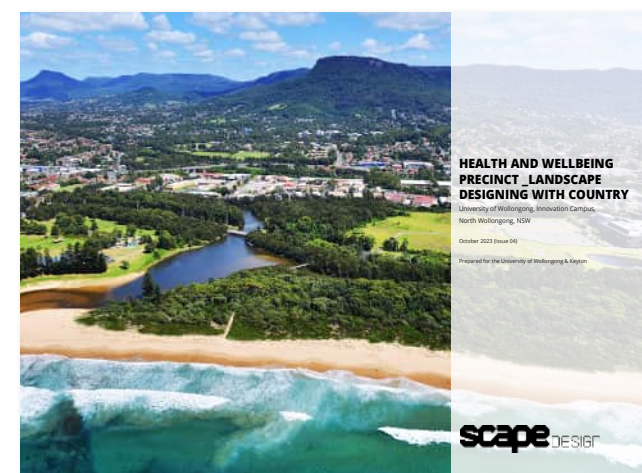
#### Connecting with Country Report by milli milli

The Connecting with Country Report completed by milli milli provides a record of consultation with a number of First Nations Stakeholders and cultural advisors.

- The Illawarra Local Aboriginal Land Council
- Aunty Lorraine Brown– Coomaditichie
- Tammy Small - Manager Projects - Indigenous Advancement for Woolyungah (UOW)
- Wendy Morgan - CEO GARI
- The report also provided an overview of key stories relating to the site along side the identification of key ecosystems and landscape characteristics that are potentially culturally significant in identifying the site and its sense of place.

The landscape ecosystems included:

- Wetlands and estuaries for fishing (also a nursery for fishes) pippis, eels, yabbies
- Middens - Indicating hunting and gathering in the area.
- Grasses and Coastal Swamp Oak (Casuarina glauca)



#### Designing with Country Report (Landscape) by Scape Design

The Designing with Country Report completed by Scape Design developed a range of approaches to landscape architecture outcomes that may be developed in response to the work undertaken by Waters Consultancy and milli milli. Undertaken concurrently with the Urban Design Guidelines, the document may be read together to provide guidance around how the landscape design of public domain elements could be considered.







# SITE ANALYSIS





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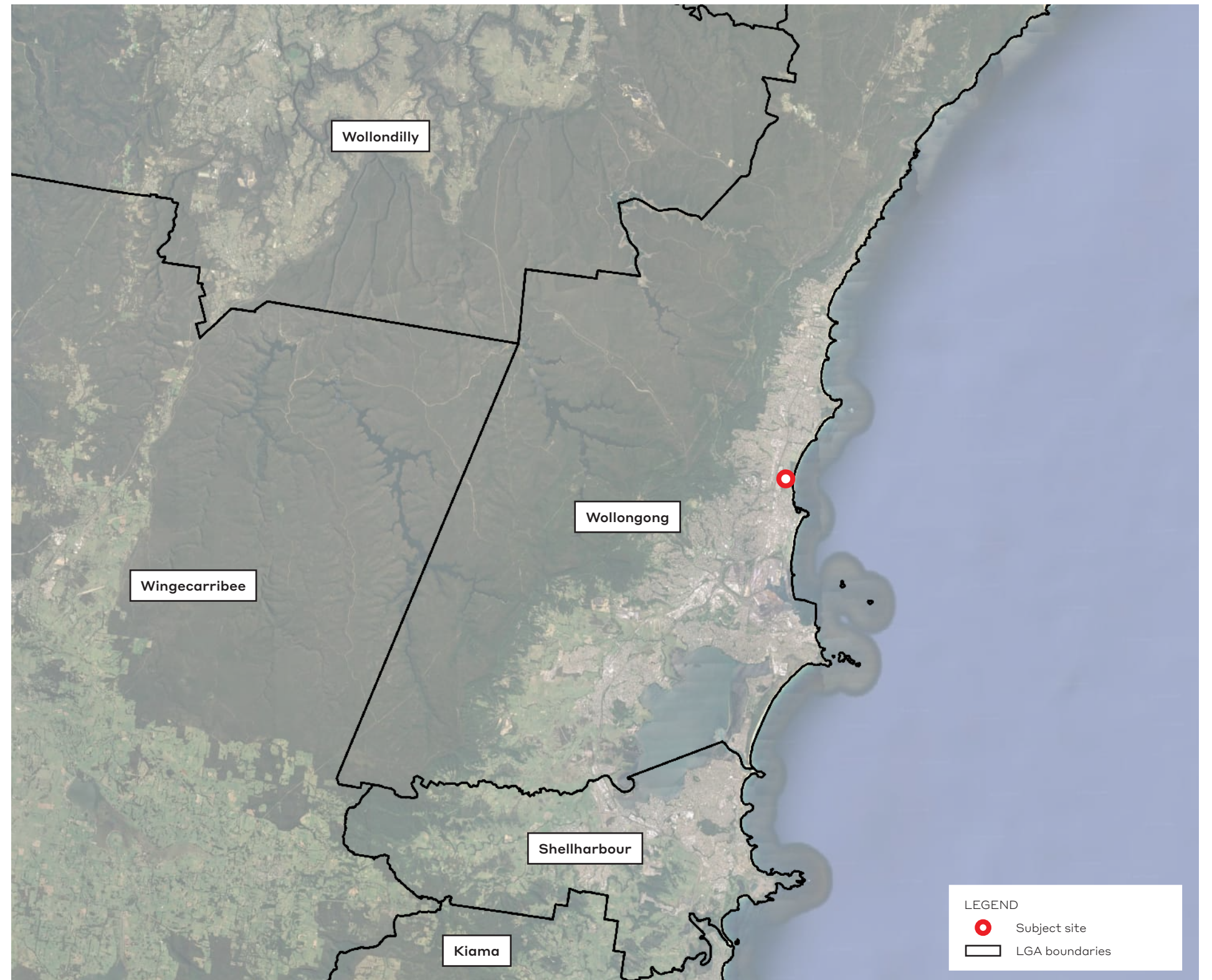
## 3.0 Site Analysis

### 3.1 Regional Context

#### 3.1.1 The Illawarra Region

The area known today as the Illawarra region was originally inhabited by the Tharawal (Dharawal) people, who remain the Traditional Custodians of the land and waters in this region. The Dharawal nation are one of many First Nations in Australia. Neighbouring nations include Eora to the north, Dharug to the north-west, Gudungurra to the west and Yuin to the south.

Contemporary boundaries within the Illawarra region includes the local government areas (LGAs) of Wollongong, Shellharbour and Kiama. The site of the proposed UOW H&WP sits within the current day boundary of the Wollongong LGA, as seen on the right.



07 Site location within the Illawarra region

1:250,000 @ A3



3.1.2 The Illawarra Escarpment

The Illawarra escarpment encloses the Illawarra region that the site sits within. It runs for approximately 120km, stretching from Stanwell Park in the north to Bass Point, Kiama, Gerringong and the Shoalhaven River in the south. The escarpment is culturally significant to First Nations people as it forms multiple Song Lines and Dreaming Tracks that can be traced along the entire escarpment. These multiple Song Lines and Dreaming Tracks intersect, overlap and vary between nations.

It is noted that the Song Lines and Dreaming Tracks in the south coast and southern highlands of New South Wales remain relatively intact in contrast to those further north in Eora (Sydney), which have been heavily disrupted by European patterns of settlement, further emphasising the cultural significance of the Illawarra escarpment.

*'The Illawarra area is connected through a complex web of traditional movement corridors that facilitated social, ceremonial, and economic networks that linked Country and people. At a local and regional level, the networks extend from the Illawarra northwest up onto the plains of the Cowpastures, north along the coastline to Botany Bay and Sydney Cove, southwest to Kangaroo Valley and the Southern Highlands, and south to Kiama and the Shoalhaven.'*

UOW H&WP: Cultural Values Assessment Draft Report  
(Waters Consultancy, June 2023)

**Note:** The map on the right is indicative only and is an attempt to highlight the traditional movement corridors along and leading to the Illawarra escarpment. We acknowledge that there are likely to be various other traditional movement corridors not shown on the map.

LEGEND

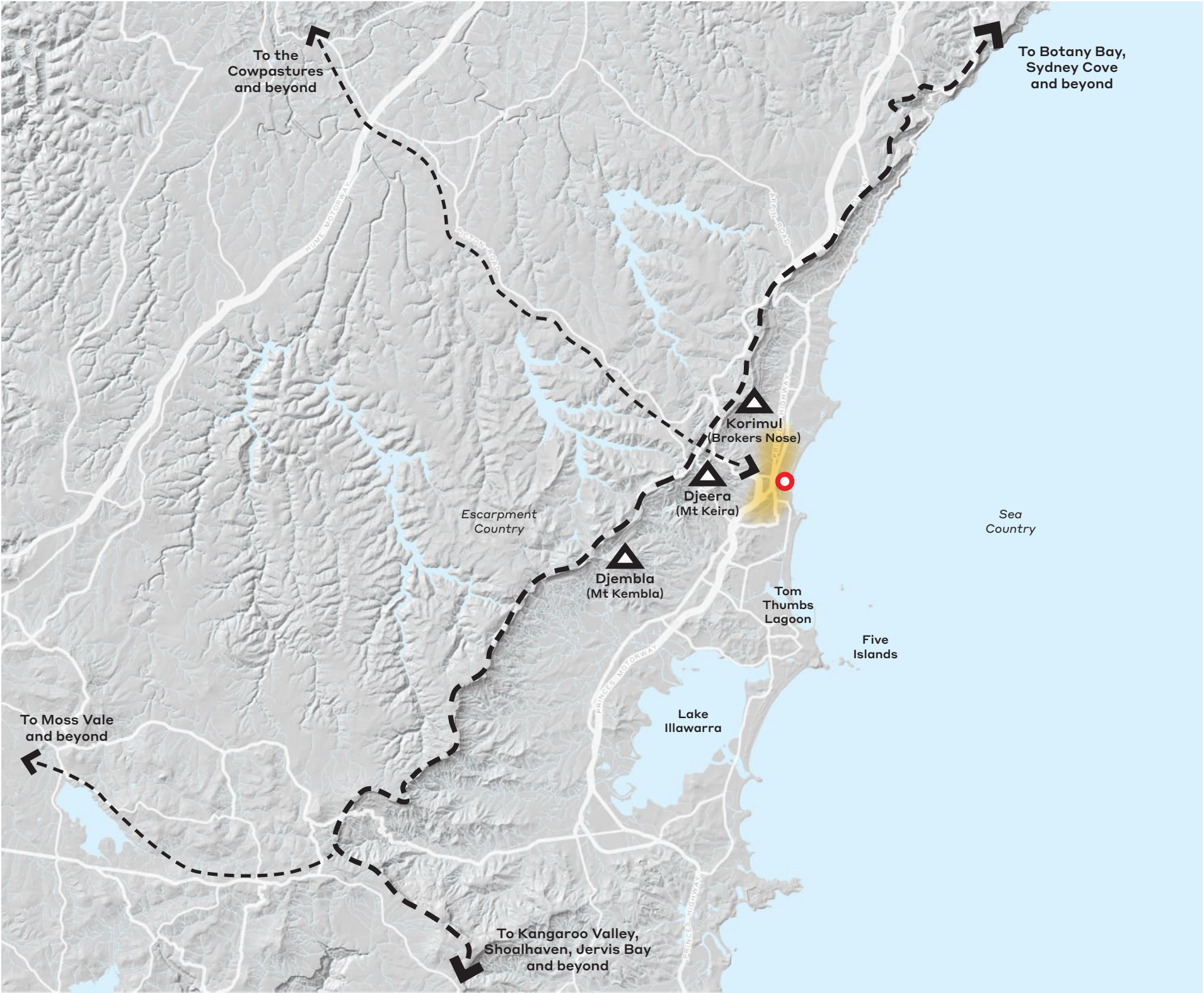
Subject site

Indicative traditional movement corridor along the Illawarra escarpment

Indicative traditional movement corridors from the inland areas towards Escarpment Country and Sea Country

Key points along the Illawarra escarpment visible from the site

Indicative traditional place of gathering along the estuary coast



08 Indicative traditional movement corridors along and leading to the Illawarra escarpment

1:250,000 @ A3



**Places of Gathering and Ceremonial Significance**

Nations from up and down the coast as well as from inland areas travelled long distances to gather at the lower-lying land between the estuary coast and the escarpment, in between Djeera (Mt Keira) and Korimul (Brokers Nose). This area is seen broadly as a traditional place of gathering, where nations met, discussed business and initiated ceremonial fighting to resolve matters.

Significant amounts of natural resources were required for these large gatherings. Being close to coastal and estuary systems, this area offered the strategic advantage of having food, medicinal and other resources in abundance to enable such large scale civic ceremonies to be conducted. The land and waters in this area were managed by First Nations people, ensuring that this abundance of natural resource was able to sustain them for generations. Refer to Section 3.3.1 for further information on the natural resources in this area.



09 Louisa Calvert (nee Atkinson), 'Drawing of Fairy Lake, Mount Kiera', c.1855-1872  
Source: UOW H&WP: Cultural Values Assessment Draft Report (Waters Consultancy, June 2023)



12 'Fairy Creek showing Mount Keira', January 1900  
Source: UOW H&WP: Cultural Values Assessment Draft Report (Waters Consultancy, June 2023)



10 Aerial view of part of the proposed H&WP site, located close to coastal and estuary systems and is situated within the broader traditional place of gathering in this area.  
Source: PTW



11 Aerial view of the Illawarra escarpment (with Djeera (Mt Keira) and Korimul (Brokers Nose) visible) and the existing Innovation Campus in the foreground.  
Source: PTW



Views to the Escarpment

A key observation made on Country during the site visit in June 2023 was that there are three key points, which form one part of the broader Illawarra escarpment, that are clearly visible from the site. They are:

- Djeera (Mt Keira)
- Djembla (Mt Kembla)
- Korimul (Brokers Nose)

*'Mountain sites, or high points, frequently figure as significant elements in cultural landscapes and are associated with spiritual and religious power.'*

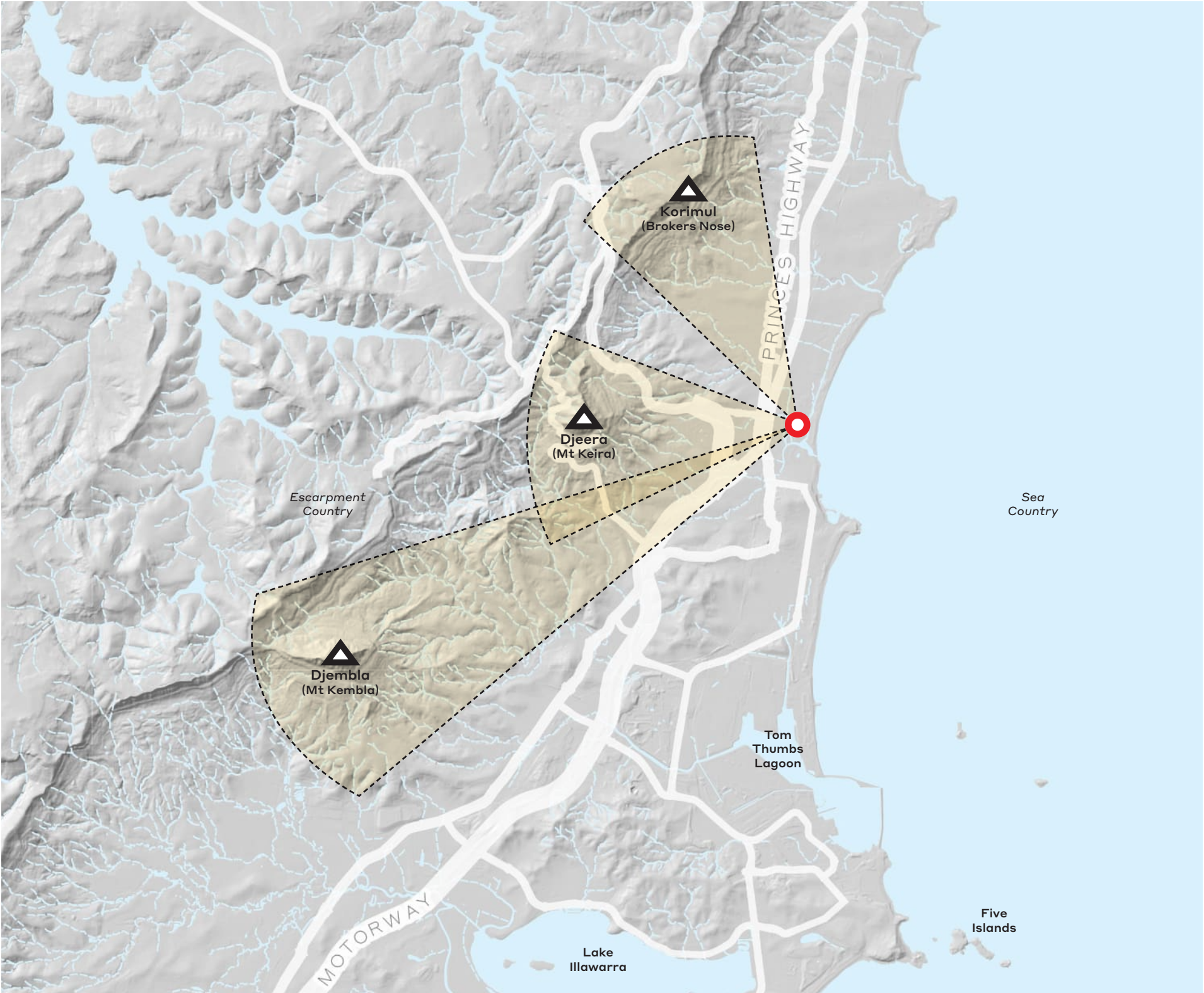
UOW H&WP: Cultural Values Assessment Draft Report  
(Waters Consultancy, June 2023)

LEGEND

Subject site

Key points along the Illawarra escarpment visible from the site

Views from the site towards Djeera (Mt Keira), Djembla (Mt Kembla) and Korimul (Brokers Nose)



13 Key points of the escarpment visible from the site

1:87,500 @ A3



**Djeera (Mt Keira) and Djembla (Mt Kembla)**

Djeera (Mt Keira) and Djembla (Mt Kembla) hold particular significance for First Nations communities as they are known to hold ceremonial significance for local nations:

- Djeera (Mt Keira) as a place of important women's business.
- Djembla (Mt Kembla) as a site for men's business.

Djeera (Mt Keira) and Djembla (Mt Kembla) are also part of a freshwater and saltwater Dharawal creation story that relates to the Five Islands clustered off the coast from Port Kembla.

*The significance of the Djembla Djeera Cultural Landscape lies in the interwoven cultural values that it holds. The landforms of Djembla (Mt Kembla) and Djeera (Mt Keira) are themselves the embodiment of Ancestral Beings, linked through Dreaming Stories to other Beings that form the Five Islands and that lie within the Illawarra Escarpment and beyond.*

UOW H&WP: Cultural Values Assessment Draft Report  
(Waters Consultancy, June 2023)



14 View of Djeera (Mt Keira) and Djembla (Mt. Kembla) taken from the mouth of Cabbage Tree Creek looking west Source: PTW



15 Aerial view of the Illawarra escarpment (with Djembla (Mt Kembla) and Djeera (Mt Keira) visible) taken from an elevated location on the site Source: PTW



## 3.2 Local Context

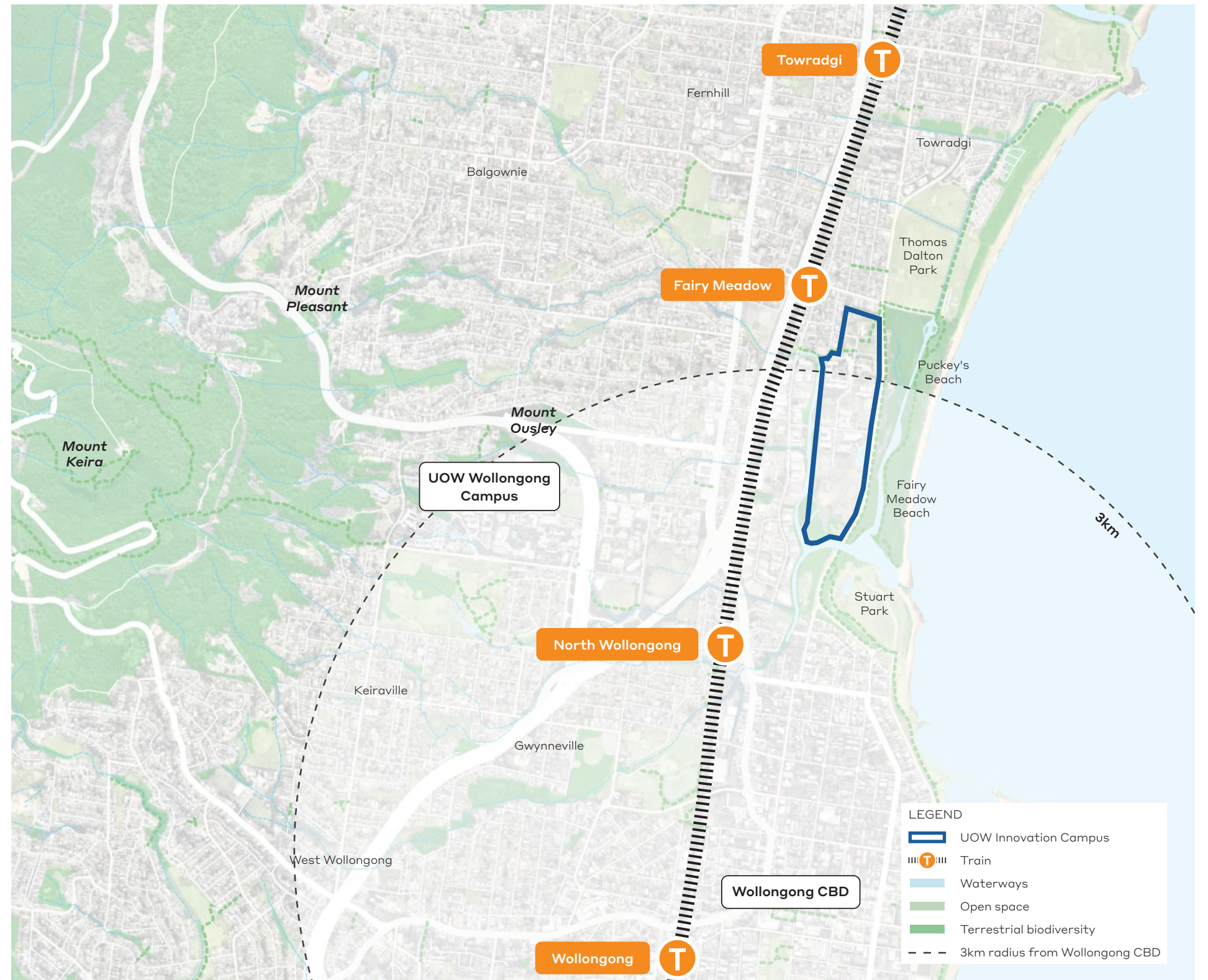
### 3.2.1 Campus Location

The UOW Innovation Campus is strategically located less than 3km north of the Wollongong CBD and less than 1km away from the University's main campus at the foot of Mount Ousley.

Its mission since its inception has been to drive partnerships and collaboration between the research and business communities by co-locating commercial and research organisation. The Innovation Campus is one of nine campuses that comprise the University of Wollongong and continues to evolve as an important hub for collaboration, providing a range of facilities.

The Precinct has been identified by the Department of Planning (DPE) in their Illawarra Shoalhaven Regional Plan as a key part of Metro Wollongong's long-term growth as an education innovation and research hub 'As host of the iAccelerate start-up hub and business accelerator it is a focus for the growing ecosystem of innovative enterprises across the region. The Campus is approaching its first 20 years of operation and the University will be refreshing the masterplan to ensure the Campus and region is well positioned to pursue emerging opportunities.'

The campus is also close to a number of open spaces along the coast including Stuart Park to the south and Thomas Dalton Park to the north, which are connected to Fairy Meadow Beach and Puckey's Beach. Positioned between two small local centres of North Wollongong and Fairy Meadow, it continues to present a significant opportunity for sustained growth as part of the renewal and revitalisation of Metro Wollongong.

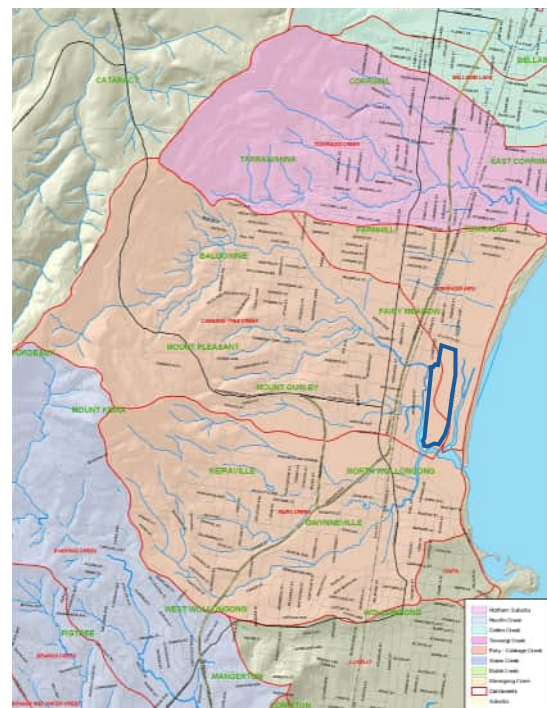




### 3.2.2 Topography and Hydrology

The campus is located within the 'Fairy-Cabbage Creek' catchment area which measures approximately 21km (https://www.wollongong.nsw.gov.au/about/environment/floods-and-stormwater/catchments/fairy-and-cabbage-tree-creeks-catchment) in area and runs from the Illawarra Escarpment to the west and includes the surrounding suburbs of Balgownie, Mount Pleasant, Mount Ousley, Fairy Meadow, North Wollongong, Keiraville and Gwynneville. The catchment includes a range of topographical conditions characterised by very steep slopes and forested terrain on the escarpment down to the coastal fringes that form part of the lower catchment that comprises a mix of residential, commercial, and industrial uses.

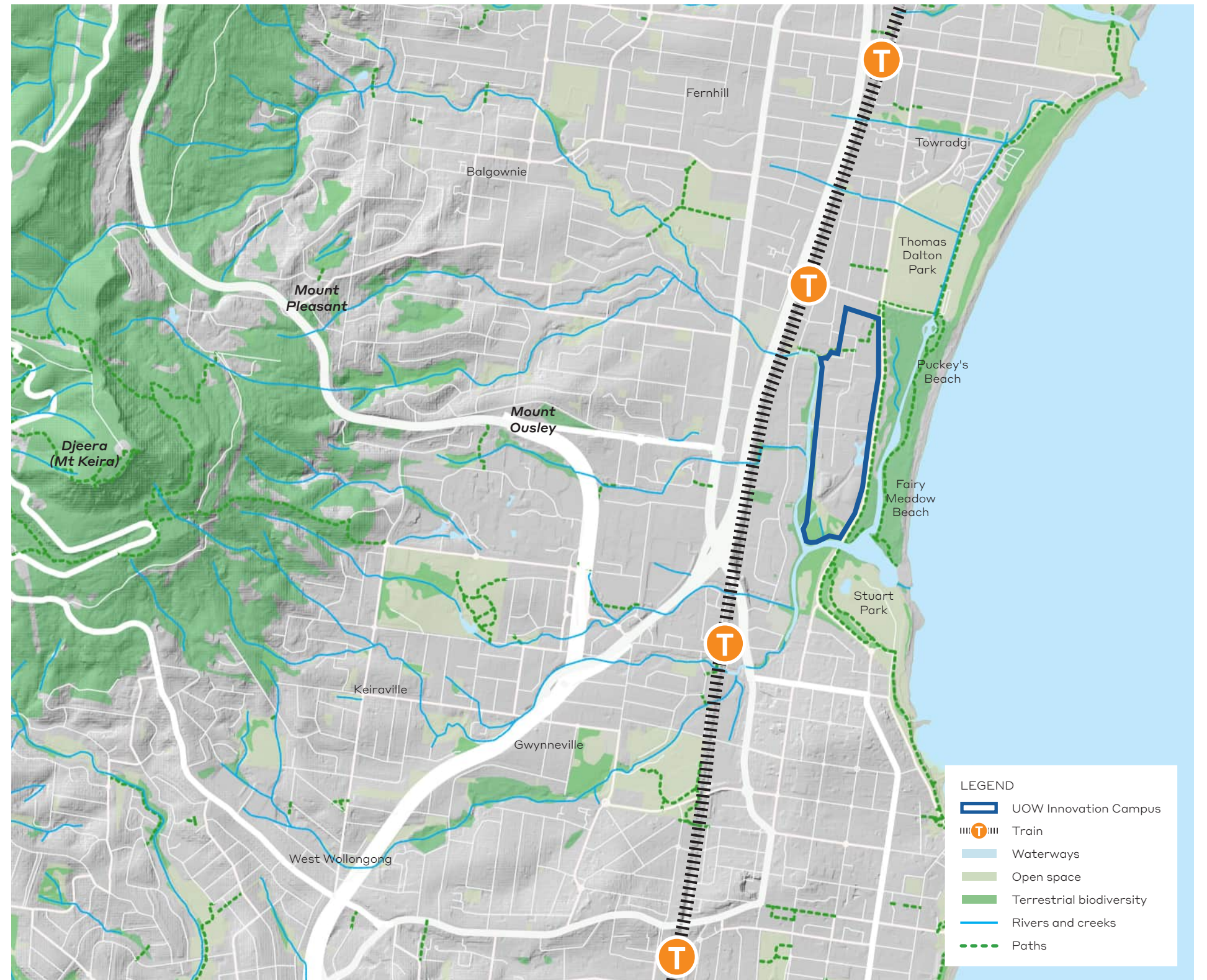
The fine network of creeks which run from the higher ground of the escarpment down to the lower lying coastal fringes traverse a number natural and man-made features to drain through to Puckey's Lagoon (adjacent Stuart Park) which is located beyond the southern edge of the Innovation Campus.



**LEGEND**

- UOW Innovation Campus
- Fairy - Cabbage Creek catchment area

18 'Fairy-Cabbage Creek' catchment area  
Source: Floodplain Management Committee Areas (Wollongong City Council, 2005)



**LEGEND**

- UOW Innovation Campus
- Train
- Waterways
- Open space
- Terrestrial biodiversity
- Rivers and creeks
- Paths

17 Topography and hydrology

1:25,000 @ A3



## 3.3 Site Context

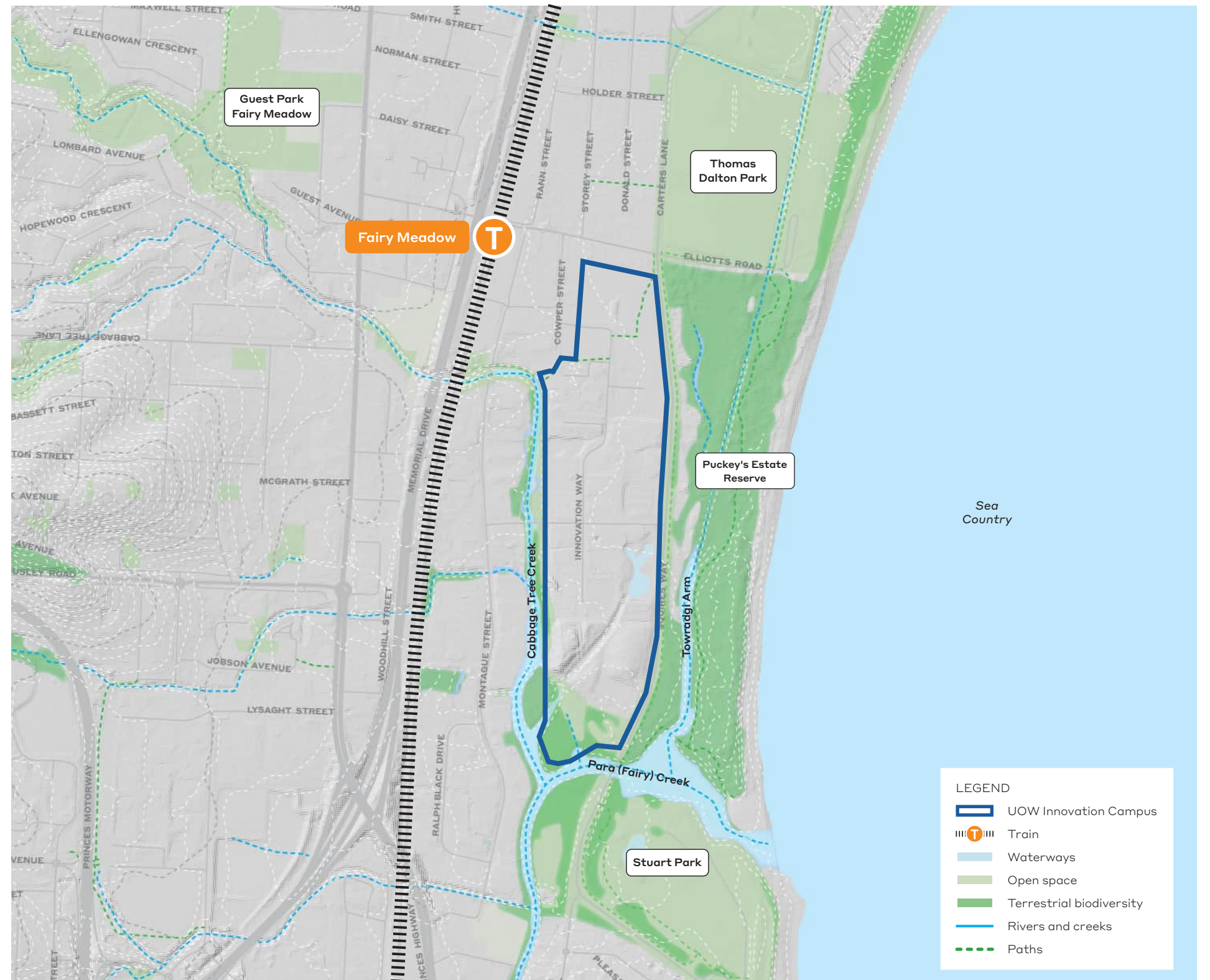
### 3.3.1 Open Space (Green) and Waterways (Blue)

The campus is within walking distance to several large local open spaces along the coast which include Stuart Park to the south and Thomas Dalton Park to the north. These parks bookend a section of coastal fore dune and beach which includes a secondary vegetation zone linked by a path known as Puckey's Estate Reserve and Towradgi Arm, all of which are accessible by foot from the existing campus.

Several waterways run alongside the campus, including Cabbage Tree Creek to the west and Towradgi Arm to the east. These two waterways meet at Para (Fairy) Creek, located just south of the campus.

As previously discussed in Section 3.1.2, the general area between the escarpment and the estuary coast, including the land on which the Innovation Campus sits on, was a key ceremonial and gathering place for visiting nations.

The land and waters in this area were abundant and rich in natural resources, providing the necessities to support these large-scale gatherings. This included food sources such as wallabies, possums, fish, eels, shellfish, plant foods as well as medicinal plants and a range of woods and stones for making tools, canoes and shelters (UOW H&WP: Cultural Values Assessment Draft Report by Waters Consultancy, June 2023).





'Cabbage Tree Creek, Para (Fairy) Creek and Towradji Arm are culturally valued waterways. The presence of these waterways and the associated riparian corridors, along with the adjacent Sea Country, form a rich resource area that supported day to day occupation along with intensive utilisation for cultural gatherings. The waterways hold cultural significance as elements in the Dreaming Tracks that run from the escarpment to the ocean.'

UOW H&WP: Cultural Values Assessment Draft Report  
(Waters Consultancy, June 2023)

Cabbage Tree Creek historically ran across the site of the Innovation Campus up until the 1960's, when the site became highly modified between 1961 and 1974. Today, the campus sits on largely infilled land, with the only reference to this historical waterway being the pond along Squires Way that was constructed as part of the Innovation Campus.

The blue and green network on and around the campus today not only provides much needed contemporary open space amenity for the campus and local area, it also continues to play a critical role in supporting a range of native flora and fauna, both on land and in the waterways, to maintain important ecologies local to the area.

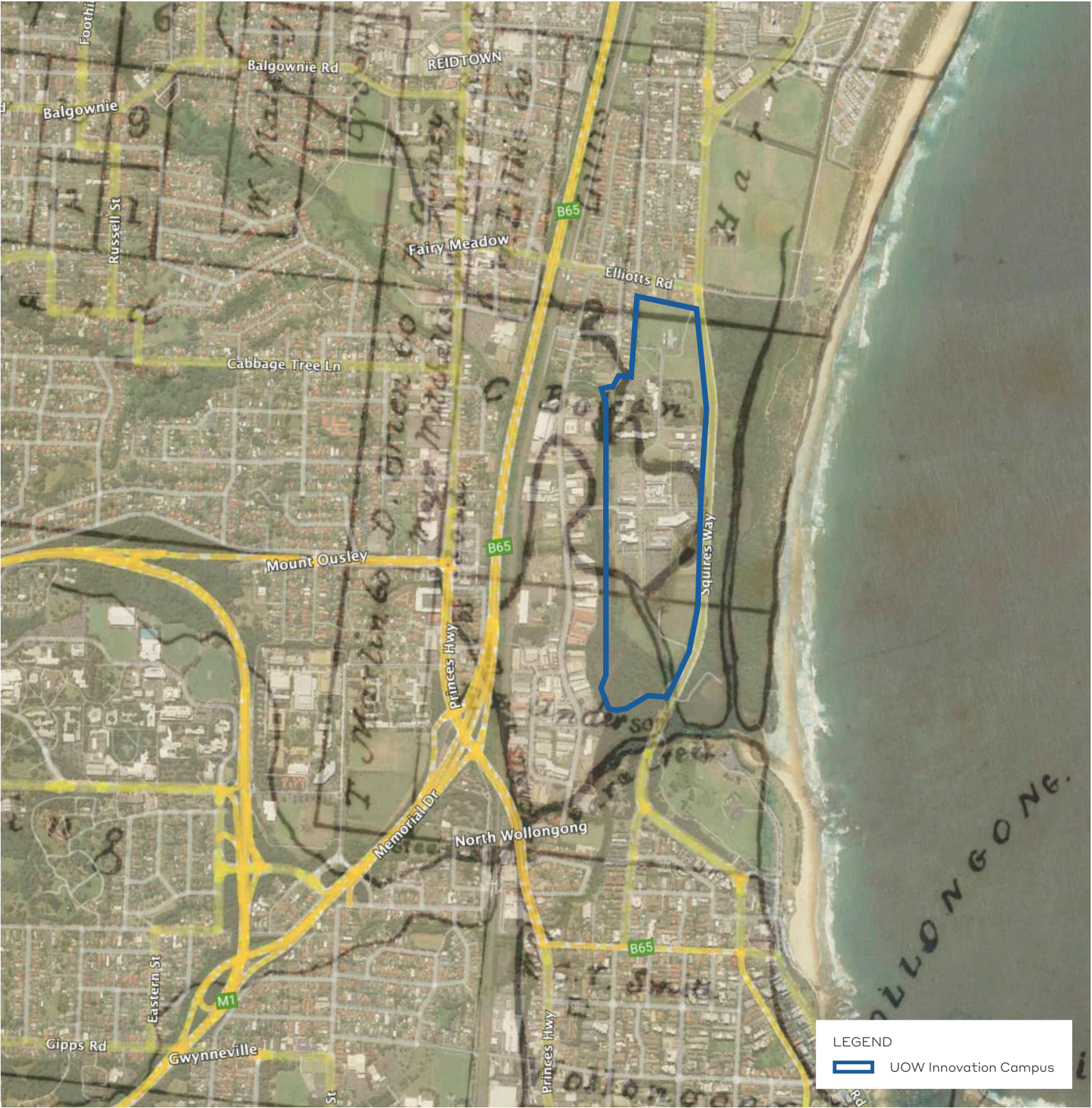
While Cabbage Tree Creek no longer runs through the campus, it is important to acknowledge its historical alignment and recognise its cultural significance as part of the Dreaming Tracks that run between Escarpment Country and Sea Country.



20 Helene Scott, "'Para" or "Fairy Creek" Wollongong', August 1863  
Source: UOW H&WP: Cultural Values Assessment Draft Report (Waters Consultancy, June 2023)

21 Approximate overlay of the Innovation Campus (2022) boundary in blue on a 'Plan of the homestead of Balgownie, Illawarra' (1840) and the current pattern of settlement around the campus  
Source: Waters Consultancy & Ethos Urban

Source: All historical maps on this page have been adapted from the UOW H&WP: Cultural Values Assessment Draft Report (Waters Consultancy, June 2023)



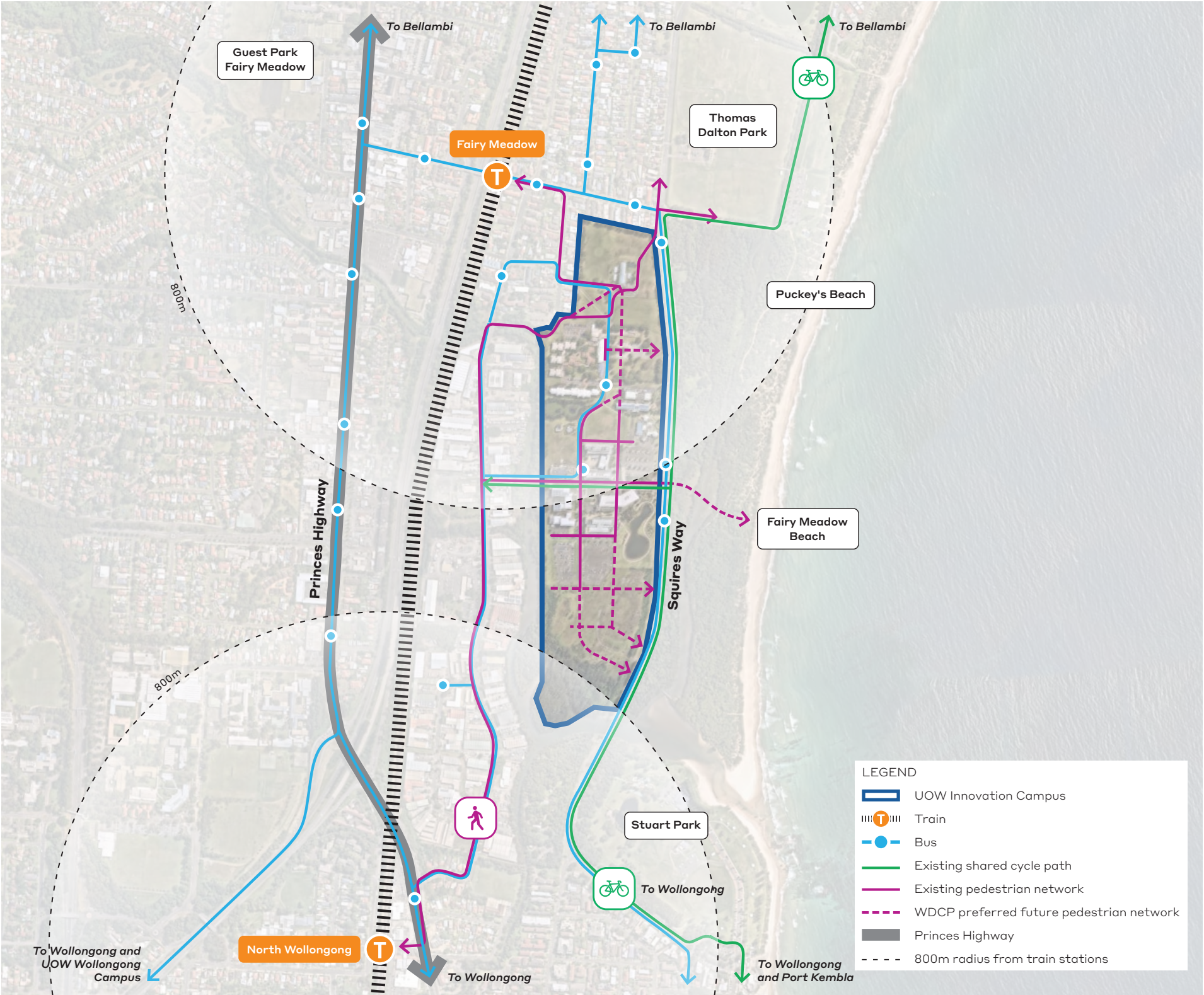


3.3.2 Access and Movement

In addition to being in close proximity to a number of large open spaces, the Innovation Campus overall is also well connected by rail and road. It is located adjacent the Illawarra and South Coast train lines and is within 800 metres of both the Fairy Meadow and North Wollongong stations. In addition to being close to the Princes Highway, the campus also includes several bus stops to the northern end of the campus with several others located along the length of Squires Way which provide local access to the surrounding suburbs, the Wollongong CBD as well as the main UOW Wollongong Campus.

The local road network which runs along the coast serves much of the local population, connecting small local centres and suburbs along the edge of the escarpment. Further west away from collection of local centres on the coast, the regional highway network which runs north-south as a regional connector between Sydney, the Illawarra and the South Coast cuts a clear path through the escarpment. The Innovation Campus has the distinct advantage of being located at the edge of this regional connector while also being located close to the edge of the coast, with good access to both the highway and the local road network.

An active transport link that forms part of a regional cycle network runs along the eastern edge of Squires Way, providing an important active transport connection for the coastal communities along the Illawarra.



22 Access and movement network around the Innovation Campus

1:12,000 @ A3



3.3.3 Contemporary Land Use

The campus is surrounded by a mix of existing land uses. It is bordered by green open spaces to its east in the form of Thomas Dalton Park, Puckey's Beach, Fairy Meadow Beach and Stuart Park, and employment lands to its west in the form of light industrial uses. The northern part of the campus is directly adjacent to suburban residential dwellings, which consist primarily of single and double storey dwellings.

On the other side of the railway corridor to the west lies the Fairy Meadow local centre, which includes a mix of commercial and bulky goods retail. A number of education institutions are also located on this side of the railway, which include TAFE NSW Wollongong, the UOW Wollongong Campus, Para Meadows School as well as Fairy Meadow Demonstration School.



23 Existing land uses around the Innovation Campus

1:12,000 @ A3



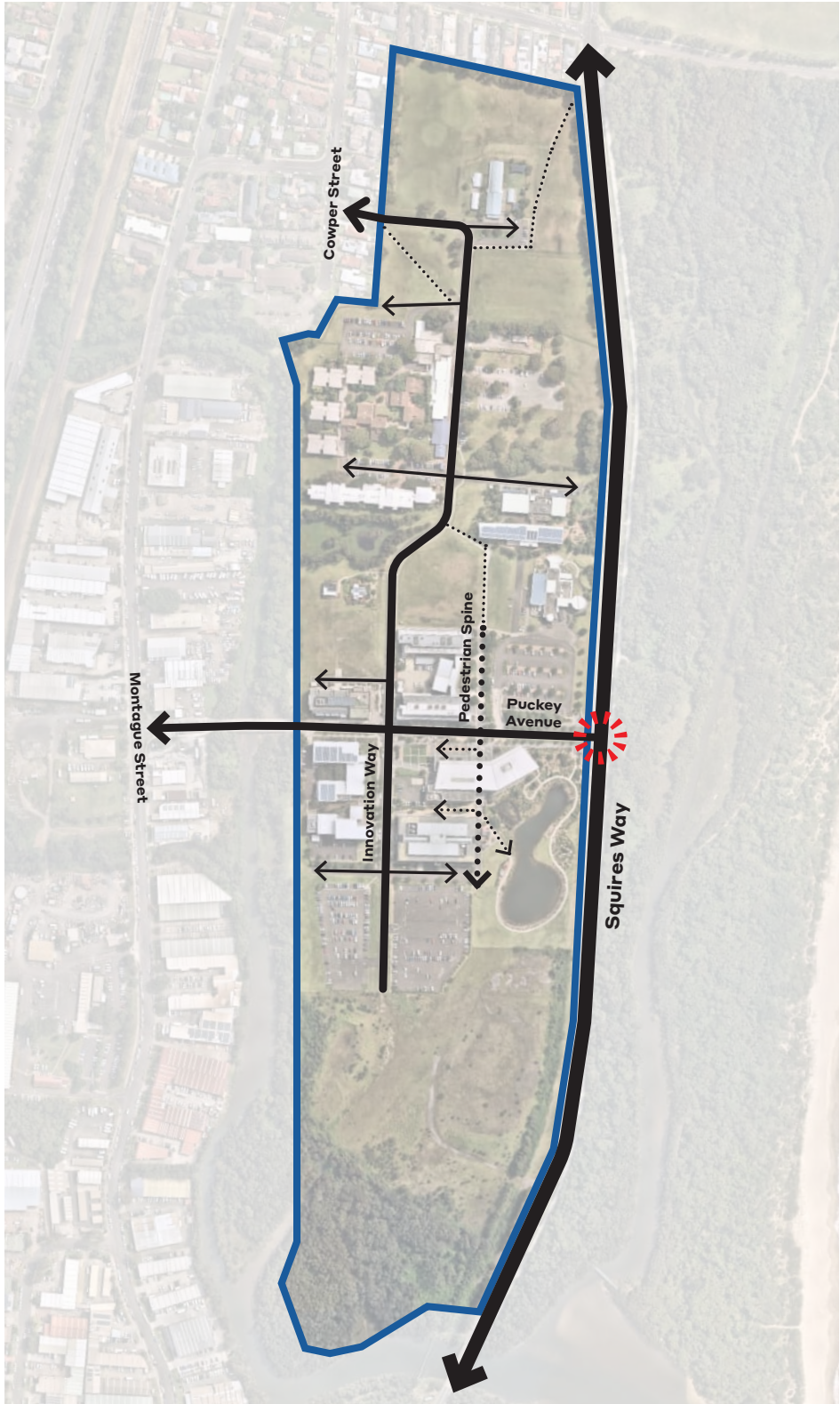
### 3.4 The Innovation Campus

#### 3.4.1 Site Organisation and Road Network

The Innovation Campus is organised around two key spines which run parallel in a north-south orientation. The first is Innovation Way, located to the west of the campus, which provides continuous vehicular access to the entire length of the campus.

The main Puckey Avenue vehicular entry to the campus at is located off Squires Way at the midpoint of the campus and connects directly into Innovation Way and further west to Montague Street. Smaller, secondary access roads oriented east-west bisect Innovation Way to define large blocks for development across the campus.

- LEGEND
- UOW Innovation Campus
- Main vehicular entry to the campus
- Squires Way
- Primary vehicular connections  
(Puckey Avenue, Innovation Way)
- Secondary vehicular connections
- Primary pedestrian connection  
(Pedestrian Spine)
- Secondary pedestrian connections





### 3.4.2 Existing Open Space Network and Pedestrian Spine

The Pedestrian Spine comprises the second north-south element which frames the campus. Designed to provide additional pedestrian connectivity, this continuous walkway runs parallel to Innovation Way. Intended as a pedestrian-only thoroughfare, the Pedestrian Spine provides dedicated access to many of the campus' civic spaces including the existing pond and the main entry forecourt.

The H&WP located at the southern end of the Campus will extend both the Innovation Way and Pedestrian Spine connections, consistent with the intent set out in the site specific DCP for the precinct.



29 View from Puckey Avenue looking north up the existing Pedestrian Spine  
Source: Google Maps



30 View from Squires Way looking west towards the existing pond  
Source: Google Maps

### 3.4.3 Built Form Typologies

The campus comprises chiefly of large format campus-style commercial buildings which can support a range of uses that include research facilities, commercial offices, laboratories. These buildings are 4-6 storeys in height and are come in several configurations to integrate internal atriums and internal courtyards. The buildings consistent with the campus DCP are generally set back from the street to facilitate a native landscape buffer.

Buildings prior to the introduction of the Innovation Campus on this site was constructed in the form of short stay student housing units which are located at the northern end of the site. These buildings by contrast are a self-contained residential community and work as dispersed barrack-like structures with dedicated on grade car park and communal facilities and range from 1-3 storeys in height.



27 Existing campus-style commercial buildings with landscaped setbacks along Innovation Way  
Source: Google Maps



28 Existing student housing buildings at the northern end of the Innovation Campus  
Source: Google Maps



# 4.0 Connecting with Country - Key Reflections and Themes

Combining contemporary Urban Design analysis approaches and our experiences of walking Country with the local First Nations cultural advisors, several key themes have emerged that will inform and shape our approach to the site and its broader Illawarra context. These themes will be embedded into the design of the H&WP and provide a genuine Connection to Country.



## Significance of Djeeera (Mt Keira) and Djembla (Mt Kembla)

The cultural view lines that extend across the site link the significant cultural sites of Djeeera (Mt Keira) and Djembla (Mt Kembla), on the edge of the escarpment Country, with the coastline and Sea Country. Mountains and high points are frequently significant elements in cultural landscapes associated with spiritual and religious power. Along with other significant mountains Djeeera (Mt Keira) and Djembla form part of a Dreaming Track that runs along the Illawarra escarpment and extends down the south coast.

Future development must continue to preserve visual connections between the site and these two points, by providing vantage points that facilitate view lines towards either Djeeera (Mt Keira) or Djembla (Mt Kembla), while prioritising the visibility of both where possible.



## Significance of Waterways

The waterways around the site, including Cabbage Tree Creek which historically ran across the site, are culturally significant and form part of the Dreaming Tracks that run between Escarpment Country and Sea Country.

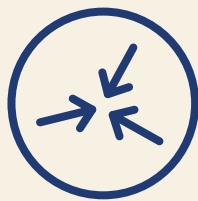
Future development must not impact existing waterways and should integrate a reference to the historical alignment of Cabbage Tree Creek. This is to be a landscape-driven response that incorporates an interpretive Cultural Trail across the precinct, utilising waterways as a vehicle for movement and discovery.



## Biodiversity and Abundance of Natural Resources

The land and waterways on and around the site were historically rich in biodiversity and natural resources, which First Nations people relied on and cared for. While the land on which the site sits on has been heavily modified over time, the riparian corridors associated with these waterways continue to provide important habitats for flora and fauna today.

Future development must protect these riparian corridors and seek to rehabilitate and re vegetate the site as well as support the movement of fauna through appropriate landscape responses.



## A Place of Civic Ceremony, Gathering and Healing

The site and the broader low-lying land between the Illawarra escarpment and the coast was traditionally a place where nations gathered and held civic ceremonies. The existing Innovation Campus continue to provide important places for gathering in areas such as the central forecourt and the pond along Squires Way.

Future development must continue to provide a variety of places for gathering that are welcoming, inclusive and accessible by all. These gathering places should form part of the interpretive Cultural Trail across the precinct.



## A Place of Debate, Learning and Discussion

In addition to being a site for gatherings and civic ceremonies, the site and its surrounding area was also traditionally a place of debate, discussion and healing. There is a common thread linking these uses with the Innovation Campus today, which provides a range of teaching and learning spaces.

Future development must carry this principle forward and continue to provide opportunities for ongoing education and employment that are accessible by all. This may be realised in the land uses proposed for the site and through suitable mechanisms such as scholarships and apprenticeships.



# 4.1 Movements across the Precinct - A Cultural Trail

The map below illustrates an exploration of the site through a site visit with Kate Waters of Waters Consultancy who was responsible for undertaking the CVAR as part of this project.

The map marks this journey and the points that were identified as having potential cultural value to enable interpretation and reflection.

A summary of our exploration of the site during the site visit with Waters Consultancy is provided and will be used to help guide the design of a Cultural Trail across the precinct. It seeks to use the physical attributes of the site to capture and reinforce the key themes discussed in this section.



31 Movement journey across the precinct

NOT TO SCALE

- LEGEND

  - UOW Innovation Campus
  - UOW H&WP
  - Water bodies
  - Waterways
  - Indicative gathering places
  - Indicative vegetated areas
  - Indicative movement journey / Cultural Trail

Using the historical alignment of Cabbage Tree Creek through the as a vehicle for discovery, the journey takes on five key movements that is accessible from the existing pond located on the eastern edge of the existing Innovation Campus. These movements are indicated below:



**Movement 1:**  
**Journey that starts with water.**

The journey begins at the existing pond, reflecting the significance of the original water course on the site. This starting point picks up on themes around the site's abundance and as a place of gathering and is also connected with the existing walking path around the pond. Glimpses of Djeera (Mt Keira) are visible from a lower elevation between buildings.



**Movement 2:**  
**Transition from the pond across a trail that follows the original water course.**

The journey continues from the pond up to the Intergenerational Plaza, a place of gathering that is more urban in nature, and to High Street where a full and framed vista to Djeera (Mt Keira) is made possible by the change in elevation from the pond up to street level. The built form of ILA (Stage 2) is also folded back to encourage an easier passage towards the Green Heart.



**Movement 3:**  
**Progression to a place of healing and gathering.**

The progression of the journey continues to reference the original water course and guides visitors to move towards the Green Heart, a place of gathering that provides opportunities for social interaction, meeting and discussion. As the wider locality was a place of ceremony and gathering, the Green Heart is also a place that provides the same opportunity to come together and spend time.



**Movement 4:**  
**Discovery of Djeera (Mt Keira) and Djembla (Mt Kembla).**

This movement enables visitors to discover the two most significant points of the Illawarra escarpment, Djeera (Mt Keira) and Djembla (Mt Kembla). This part of the journey enables the visitor to clearly experience views of these two points together. From the site, the vista towards both Djeera (Mt Keira) and Djembla (Mt Kembla) is only possible from specific vantage points that will require the visitor to move vertically through buildings, structures or landforms, with this location being one of them (see View Impact Assessment).

A Public Viewing Platform will be provided at the top of the Landscaped Mound in this location, where interpretive signage (or similar) should be provided to facilitate the visitor's understanding of the significance of Djeera (Mt Keira) and Djembla (Mt Kembla) together and to learn and reflect on their roles as significant ceremonial places. From this elevated vantage point, the visitor will not only have clear views towards the escarpment (Escarpment Country), but also towards the coast (Sea Country) and the Wollongong cityscape to the south.



**Movement 5:**  
**Linkage back to water.**

From the elevated Public Viewing Platform, the journey continues to the east where it leads visitors towards the landscaped area along Squires Way. Glimpses of the escarpment are afforded from here, before the journey continues north through the landscaped area and links back to the existing pond.

**Note:** Appropriate wayfinding signage and other interpretive elements should be incorporated at key points along the movement journey / Cultural Trail to enable the visitor to learn about the specific movements across the precinct. Refer to Section 5.5 - Wayfinding for further information.







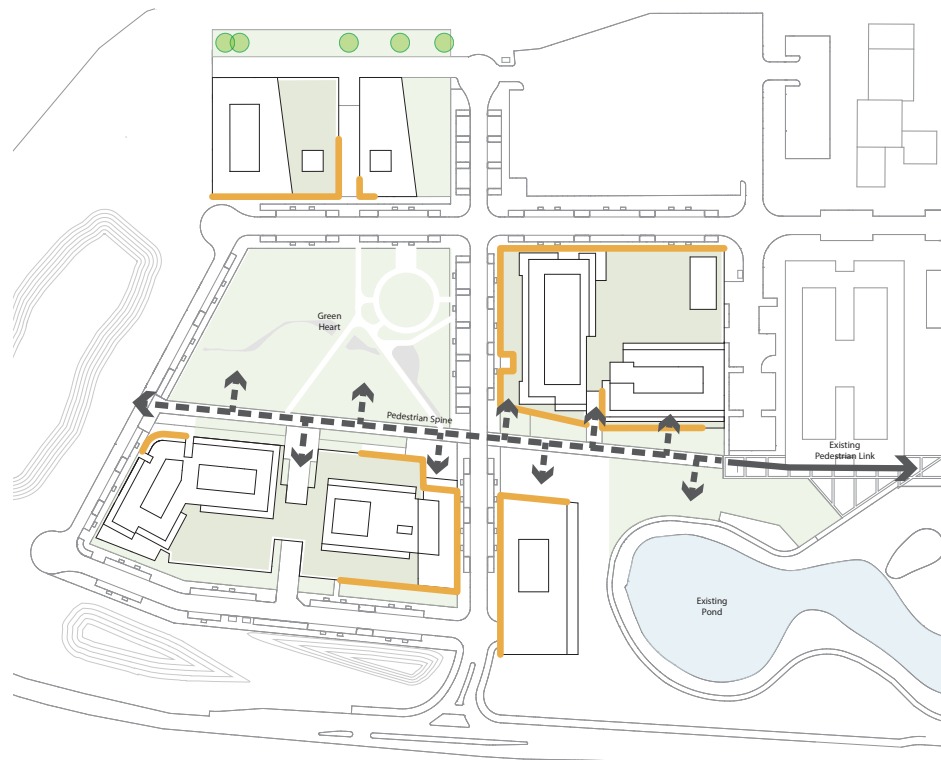
# PUBLIC REALM CONTROLS





## 5.0 Public Realm Controls

### 5.1 Principles



**1. A new dedicated Pedestrian Spine which connects residents, students, staff and visitors to key facilities and the H&WP's blue green infrastructure.**

A dedicated Pedestrian Spine running north-south that extends the existing campus pedestrian link will provide future residents, students, staff and visitors with a safe and walkable path that connects them with the surrounding landscape, but more importantly a critical chain of supporting health and well-being focussed uses.



**2. A connected, safe, walkable network of roads and paths which connect back to the existing campus and the broader context, that also anticipates future extension to the south.**

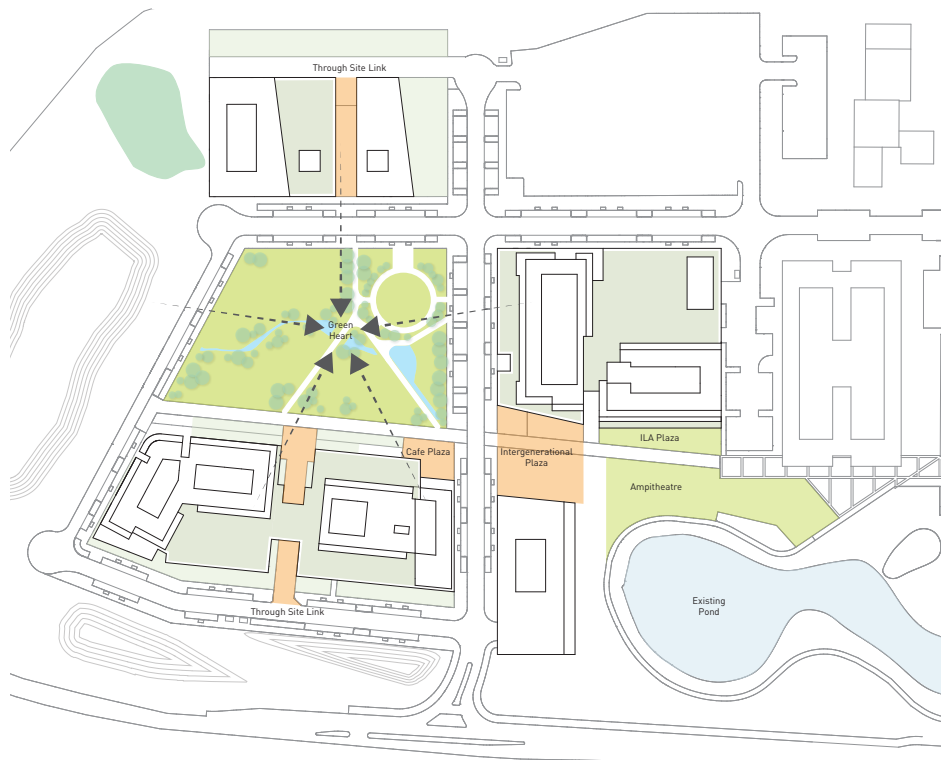
The Pedestrian Spine will be supported by a network of pathways that will not only promote increased connectivity, but greater legibility, walkability and permeability to the campus overall. The proposed road and pedestrian network also anticipates a future extension to the south of the precinct to service future stages of the H&WP (refer to Section 1.4).



**3. Develop a clear and legible Cultural Trail that links water and land to enable visitors and residents to engage with and experience Country.**

Using water as a theme and guide, a specific journey that traces the movement of water bodies across the precinct (existing pond, Chain of Ponds and Cabbage Tree Creek) will be developed as part of the Connecting with Country framework that will afford visitors and residents the opportunity to safely explore Country in their own way and at their own pace. This will comprise a walking trail on the precinct that uses the public realm and landscape elements as places of gathering, reflection and observation (refer to Section 4.0).





**4. Ensure a range of accessible and inclusive open space environments to foster interaction, engagement, and collaboration.**

The re-development of the H&WP will include open spaces that accommodate large areas for more gatherings such as the Green Heart to more intimate settings such as urban plazas and amphitheatres for casual interactions and reflection. These spaces will provide residents, students, staff and visitors with environments that promote interaction and enrich the experiences of users.



**5. Ensuring a robust response to climate change through a resilient landscape design and water sensitive urban design (WSUD) measures.**

The streets and open spaces that form the H&WP will be supported by an increased tree canopy cover to mitigate the impacts urban heat island within the precinct. Shade for pedestrians along key connections is vital to boosting walkability.

The landscape design in these locations will highlight the importance of water in this place through the use of endemic species and the application of water sensitive approaches to retain and re-use of water resources on site. This includes new landscape elements such as streets and new water elements such as the Chain of Ponds.



**6. Ensure vistas to Djeera (Mt Keira), Djembla (Mt Kembla) and Korimul (Brokers Nose) from the H&WP are preserved.**

As part of the emergent themes, view lines to the Escarpment, particularly views to Djeera (Mt Keira), Djembla (Mt Kembla) and Korimul (Brokers Nose) are of great importance to the local community.

1. Squires Way and High Street viewpaths
  - View to Djeera (Mt Keira).
2. Green Heart viewpath
  - To Djeera (Mt Keira) and across the escarpment.
3. Public Viewing Platform on Landscaped Mound
  - View across escarpment including Djeera (Mt Keira) and Djembla (Mt Kembla).



## 5.2 Overview

The following is a breakdown of the H&WP network of Public Realm which are covered under this section. These elements establish a framework for future development to the southern part of the precinct.

This section is broken down into two parts:

### Streets (Section 5.4)

- 1 High Street (Road 2)
- 2 Innovation Way
- 3 Pedestrian Spine
- 4 Road 1
- 5 Shared Service Road
- 6 Through Site Link (ILA Stage 2)

### Open Spaces (Section 5.5)

- 7 Green Heart
- 8 Intergenerational Plaza
- 9 Cafe Plaza
- 10 RACF and Childcare Plaza
- 11 Landscaped Area (ILA Stage 1 and Existing Pond)
- 12 Landscaped Area (Squires Way)
- 13 Landscaped Mound and Public Viewing Platform

This section provides guidance for all public realm elements including streets and open spaces in the H&WP.

The detailed design and delivery of these open spaces, including street trees and landscaping will be provided by the Detailed DA.



32 Public realm components within the UOW Health and Wellbeing Precinct

SCALE 1:1500 @ A3

#### LEGEND

- High Street (Road 2)
- Innovation Way
- Pedestrian Spine

- Road 1
- Shared Service Road
- Through Site Link (ILA Stage 2)

- Green Heart
- Plazas

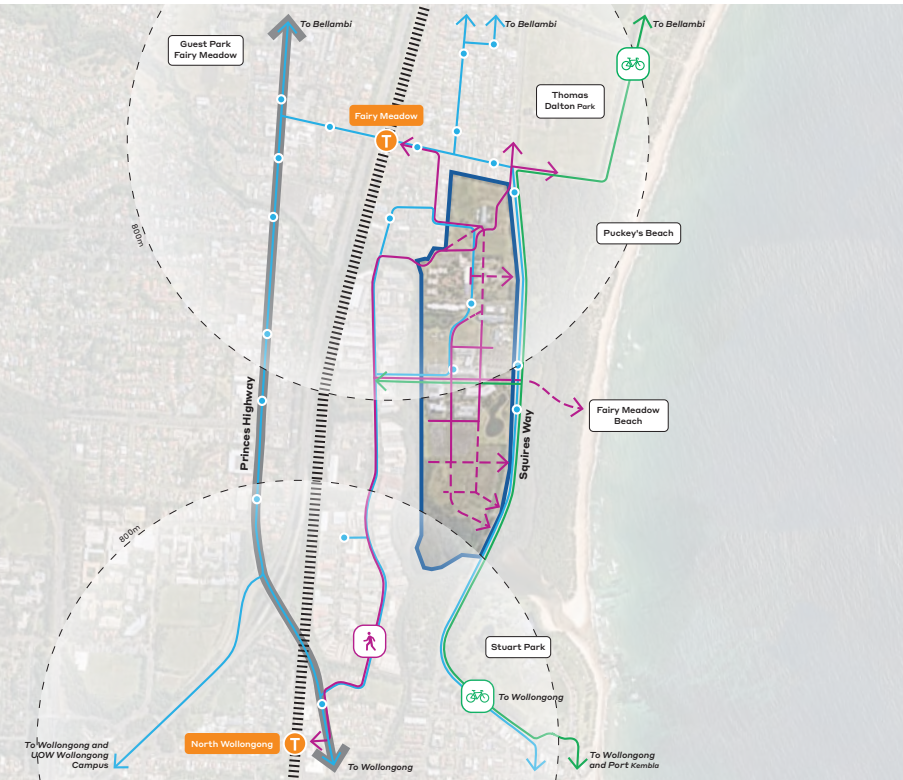
- Landscaped Area (ILA Stage 1 and Existing Pond)
- Landscaped Area (Squires Way)
- Landscaped Mound and Public Viewing Platform



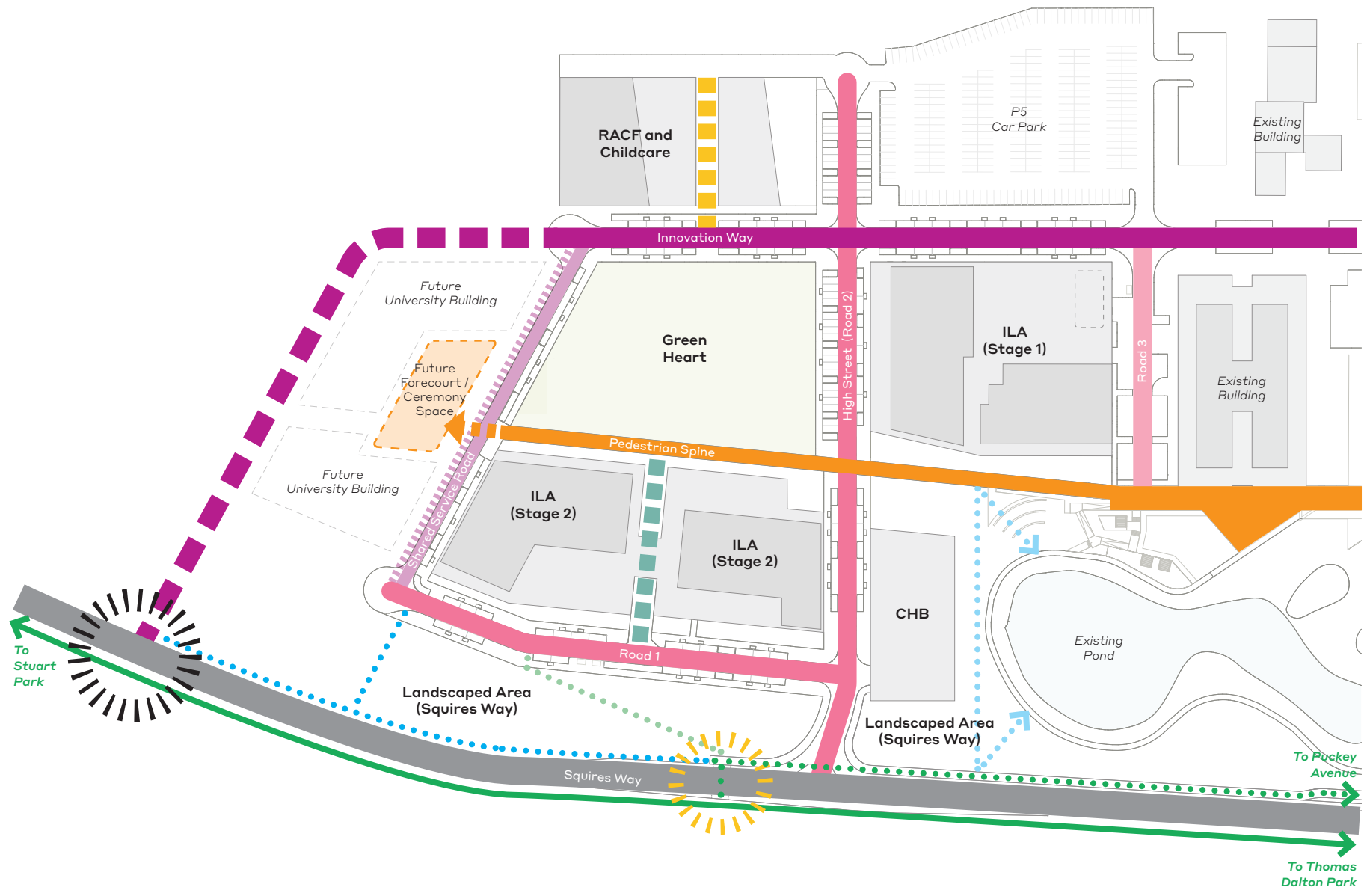
### 5.3 Movement Framework

The movement framework describes the hierarchy of streets and pathways that connect the H&WP with the broader active transport network and surrounding open spaces.

The network also ensures a continuity of connection between the proposed H&WP to the existing Innovation Campus to the north and outlines a range of connections to future stages of development to the south.



The access and movement network diagram on the right should be read in conjunction with Section 3.3.2.



33 Access and movement network

LEGEND

- Squires Way
- 7.0m wide carriageway (Innovation Way)
- Future extension of Innovation Way
- 6.5m wide road (High Street, Road 1)
- 6.0m wide road (Road 3)
- 5.0m wide pathway (Pedestrian Spine)
- 8.0m wide plaza (RACF and Childcare Plaza)
- 4.5m wide road (Shared Service Road)

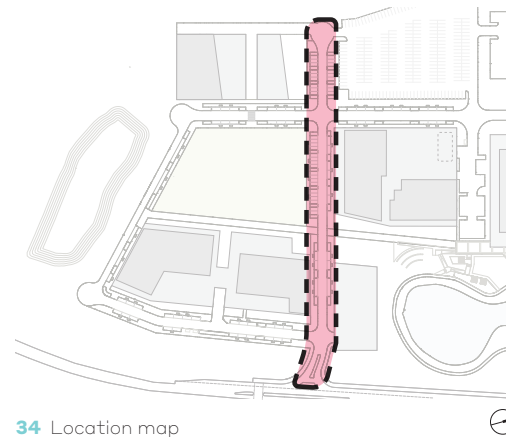
- Through site link (ILA Stage 2)
- Future widening of Shared Service Road
- Existing shared pedestrian path and cycleway
- New pedestrian connection
- New pedestrian connection (indicative location)
- Future pedestrian connection (future stage development to the south)
- Future pedestrian connection (separate SSDA)

- Future university buildings (indicative)
- Future forecourt / ceremony space (indicative)
- New signalised pedestrian crossing
- Future signalised intersection



## 5.4 Streets

### 5.4.1 High Street (Road 2)



34 Location map

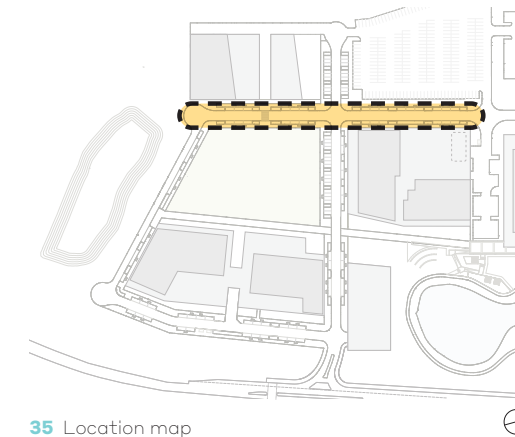
#### Objectives:

- A. To provide a dedicated east-west street that connects the main entry from Squires Way into the H&WP.
- B. To provide a highly activated street with continuous pedestrian connections and good amenity.
- C. To provide vehicular and service access to the future RACF and Childcare and the P5 car park.
- D. To provide on-street parking to support the new uses proposed for the precinct.

#### Guidelines:

1. Provide a signalised pedestrian crossing just south of the High Street and Squires Way intersection (main entry into the H&WP) to facilitate a safe and accessible connection to the existing shared pedestrian path and cycleway on the eastern side of Squires Way.
2. Provide a 6.5m wide two-way road with 2.5m wide continuous footpaths on both sides of the street in accordance with Figure 33.
3. Provide on-street parking on both sides of the street to clearly delineate between footpath and roadway. Both parallel spaces (2.5m width) and perpendicular spaces (5.4m length) may be provided.
4. Provide street trees to footpaths to enable minimum 40% tree canopy cover for the full extent of the street while maintaining a vista to Djeera (Mt Keira).
5. Provide street furniture and good quality paving to create a familiar and safe environment for residents.
6. Provide sleeved uses, active frontages, vehicular and service access in accordance with Section 8.1.

### 5.4.2 Innovation Way



35 Location map

#### Objectives:

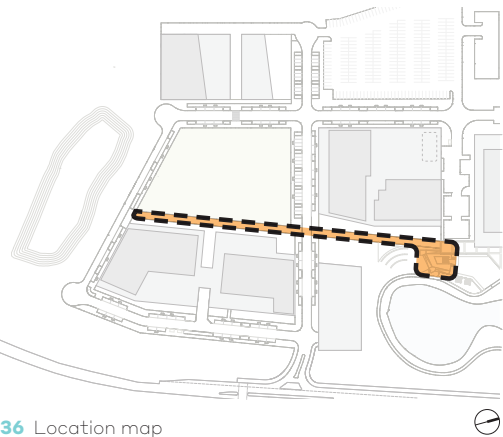
- A. To extend the north-south boulevard of the existing Innovation Campus through the H&WP.
- B. To provide a semi-activated street with continuous pedestrian connections and good amenity.
- C. To provide on-street parking to support the new uses proposed for the precinct.
- D. To enable an extension and connection back to Squires Way in the future stage development to the south (only as part of the future stage development to the south)

#### Guidelines:

1. Retain the 7m wide two-way road configuration of Innovation Way and extend it through the H&WP in accordance with Figure 33.
2. Provide 2.5m wide continuous footpaths shaded by street trees on both sides of the street.
3. Provide on-street parking on both sides of the street to clearly delineate between footpath and roadway. Only parallel spaces (2.5m width) may be provided.
4. Provide street trees to footpaths to enable minimum 40% tree canopy cover for the full extent of the street.
5. Provide street furniture and good quality paving to create a familiar and safe environment for residents.
6. Provide sleeved uses and active frontages in accordance with Section 8.3.



5.4.3 Pedestrian Spine



36 Location map

Objectives:

- A. To provide a primary north-south pedestrian connection with good amenity that links the existing Innovation Campus through the H&WP that is universally accessible.
- B. To provide both physical and visual connections between the key green and blue features of the precinct.
- C. To enable a continuation of the Pedestrian Spine to future stages of development south of the precinct.

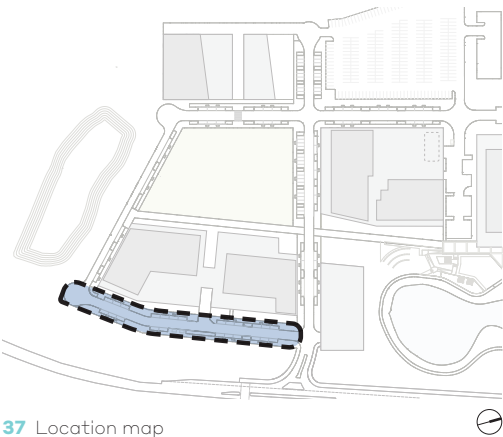
Guidelines:

The design of the Pedestrian Spine should:

1. Provide a continuous 5m wide pedestrian-only pathway that extends the existing Pedestrian Spine in the Innovation Campus through the H&WP in accordance with Figure 33.
2. Provide street trees to footpaths to enable minimum 40% tree canopy cover for the full extent of the walkway.
3. Provide traffic calming measures where the Pedestrian Spine crosses High Street to prioritise pedestrian safety.
4. Provide street furniture and good quality paving to create a familiar and safe environment for residents.
5. Provide sleeved uses and active frontages in accordance with Section 8.2.

6. Ensure that the Pedestrian Spine is designed to provide clear lines of sight between the existing pond and the Green Heart.
7. Integrate landscape treatment opportunities as part of the Cultural Trail overlay to assist with the articulation of the narrative embodied within the Connecting to Country approach to the precinct. First Nations stakeholders are to be consulted with any selection of Public Art.

5.4.4 Road 1



37 Location map

Objectives:

- A. To provide a secondary north-south street that runs parallel to Squires Way.
- B. To provide a semi-activated street with continuous pedestrian connections and good amenity.
- C. To provide vehicular and service access to ILA (Stage 2).
- D. To provide on-street parking to support the new uses proposed for the precinct.

Guidelines:

1. Provide a 6.5m wide two-way road that connects High Street with the Shared Service Road in accordance with Figure 33.
2. Provide 2.5m wide continuous footpaths shaded by street trees on both sides of the street.
3. Provide street trees to footpaths to enable minimum 40% tree canopy cover for the full extent of the street.
4. Provide street furniture and good quality paving to create a familiar and safe environment for residents.
5. Provide street furniture and good quality paving to create a familiar and safe environment for residents.
6. Provide on-street parking on both sides of the street to clearly delineate between footpath and roadway. Only parallel spaces (2.5m width) may be provided.
7. Provide sleeved uses, active frontages, vehicular and service access in accordance with Section 8.4.



#### 5.4.5 Shared Service Road



38 Location map

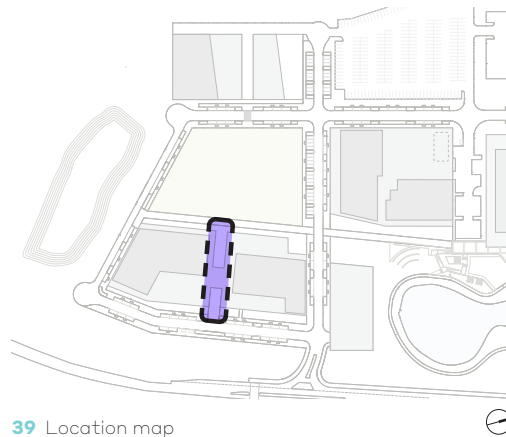
##### Objectives:

- A. To provide a secondary east-west connection that completes the road loop proposed for the H&WP.
- B. To provide a shared street that provides access for pedestrians and emergency and service vehicles only.
- C. To provide access to the Landscaped Mound and Public Viewing Platform.

##### Guidelines:

- 1. Provide a 4.5m wide road that connects Road 1 with Innovation Way in accordance with Figure 33.
- 2. Provide 2.5m wide continuous footpaths shaded by street trees on the northern side of the street.
- 3. Provide street trees to footpaths to enable minimum 40% tree canopy cover for the full extent of the street.
- 4. Provide on-street parking on the northern side of the street to clearly delineate between footpath and roadway. Only parallel spaces (2.5m width) may be provided.
- 5. Provide sleeved uses and active frontages in accordance with Section 8.5.
- 6. Provide a safe and accessible means of crossing the Shared Service Road to enable visitors to access the Landscaped Mound and Public Viewing Platform on the southern side of the street.

#### 5.4.6 Through Site Link (ILA Stage 2)



39 Location map

##### Objectives:

- A. To provide visual permeability and a pedestrian link between Road 1 and the Pedestrian Spine and Green Heart through the ILA (Stage 2) podium at ground level.
- B. To provide separation between and articulate two separate ILA (Stage 2) podium forms.

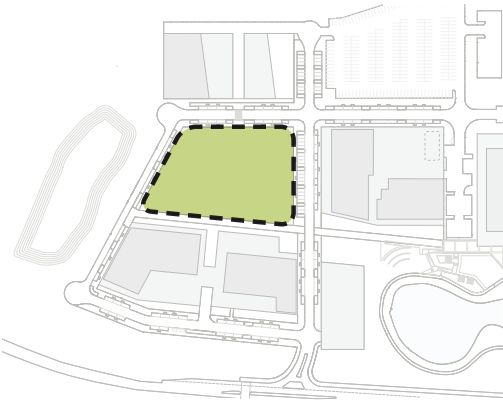
##### Guidelines:

- 1. Incorporate a palette of paving, landscape and facade materials that is co-ordinated with the paving, landscape and facade materials that are proposed for the Road 1 pedestrian footpath areas and the Pedestrian Spine.
- 2. Incorporate double height or open to the sky spaces within the detailed design to ensure the through site link is legible and provides a high level of amenity for pedestrians.
- 3. Ensure the detailed design is developed to adequately and safely separate pedestrians and vehicles.
- 4. Ensure the detailed design incorporates appropriate design measures to minimise any crime risk to pedestrians.



# 5.5 Open Spaces

## 5.5.1 Green Heart



40 Location map

### Objectives:

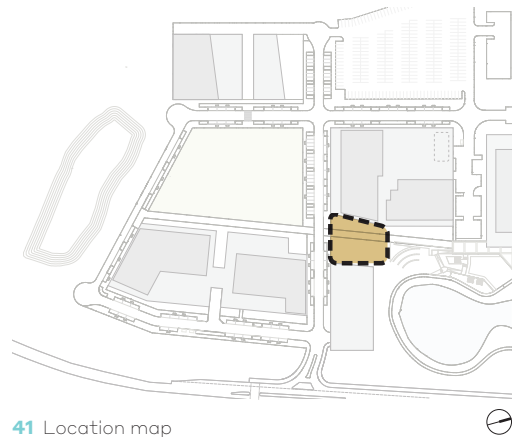
- A. To provide a major new public open space as the central organising space for the H&WP that will become a focus for community activities and provide adequate open space for the residents, students, staff and visitors of the campus and wider community, including intergenerational contact zones.
- B. To provide diversity and flexibility to support broad program of events and activities across the annual, monthly and diurnal cycles in both 'event mode' and 'day to day' mode that is universally accessible.
- C. To support University-led projects for the purposes of health and wellbeing research, teaching and/or learning activities.
- D. To create a landscape reference to the original alignment of Cabbage Tree Creek, running diagonally across the Green Heart, in the form of a Chain of Ponds.

### Guidelines:

- 1. Provide a minimum 5,500 sqm of open space, with no buildings to be located within it.
- 2. Include a minimum 1,000 sqm of outdoor teaching/learning space to facilitate University-led research, teaching and/or learning projects and activities in an outdoor space.
- 3. Ensure that there is no overshadowing to a minimum 75% of the open areas of the Green Heart from surrounding buildings between 10.30am and 3pm at mid-winter.
- 4. Provide a minimum 25% tree canopy cover within the Green Heart to provide shaded areas for gathering and activities. Provide additional coverage in the form of shade sails where required, such as for outdoor playground areas.
- 5. Maximise shaded areas closer to 50% (natural or built shade) to align with principles of the Draft Greener Places Design Guide (Government Architect NSW, 2020) for recreation space, while still ensuring that a reasonable proportion of open space within the Green Heart is not spatially restricted by trees or other permanent structures to allow for a variety of recreational uses.
- 6. Include WSUD measures in the design of the Chain of Ponds and integrate it as part of the H&WP's water collection and retention system that also supports biodiversity in the precinct.
- 7. Design the Chain of Ponds in co-ordination with landscape elements of the Intergenerational Plaza and integrate Designing with Country principles. It is also to be designed in anticipation of its extension to the south-west towards Cabbage Tree Creek as part of the future stage development to the south.
- 8. Provide a series of landscape spaces where different generational groups can use and enjoy spaces, both separately and together. This could be in the form of play areas, a village green and other passive open spaces.
- 9. Provide physical connections through the Green Heart that meet at its north-eastern corner to create an interaction node between the Green Heart, Cafe Plaza, Intergenerational Plaza, Pedestrian Spine and High Street.
- 10. Provide 2.5m wide (minimum) pathways with an appropriate finish for the movement of people using walking frames, electric mobility scooters and baby and child prams and pushers.
- 11. Ensure that landscape elements within the Green Heart provide clear visual connections from the Green Heart to key pedestrian crossings.



### 5.5.2 Intergenerational Plaza



41 Location map

#### Objectives:

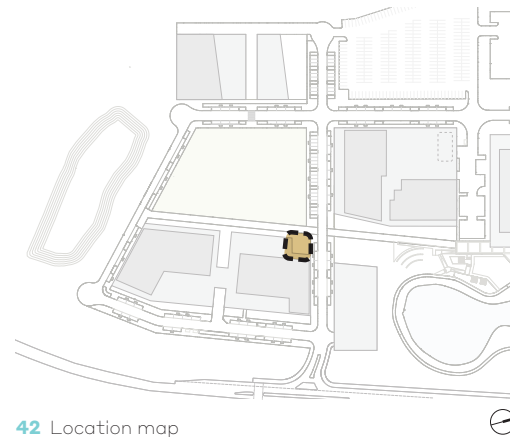
- A. To provide an urban plaza space that is universally accessible.
- B. To support the Intergenerational Hub in ILA (Stage 1) and the future CHB on the eastern side of the plaza.
- C. To provide an informal gathering space capable of supporting limited social activities off the Pedestrian Spine.
- D. To provide a clear point of arrival and gathering that is at grade to any future development to the eastern side of the Pedestrian Spine.
- E. To support the Cultural Trail established under this Urban Design Guide as part of the broader Connecting to Country approach.

#### Guidelines:

##### The design of the Intergenerational Plaza should:

1. Provide a maximum 1,300 sqm area for the Intergenerational Plaza (inclusive of the portion of the Pedestrian Spine that runs across it).
2. Be designed to be accessible at grade from ILA (Stage 1) and the future CHB to the east of the Pedestrian Spine.
3. Be designed to facilitate dedicated activities specific to the needs of the Intergenerational Hub in ILA (Stage 1) and the future CHB to the east of the Pedestrian Spine.
4. Incorporate Connecting with Country themes of water and gathering with the intention of extending the Chain of Ponds concept from the Green Heart down to the existing pond as part of the Cultural Trail.
5. Consider landscape elements within the plaza to preserve a clear lines of sight between the existing pond, Intergenerational Plaza and the Green Heart, in accordance with Section 7.1.3.

### 5.5.3 Cafe Plaza



42 Location map

#### Objectives:

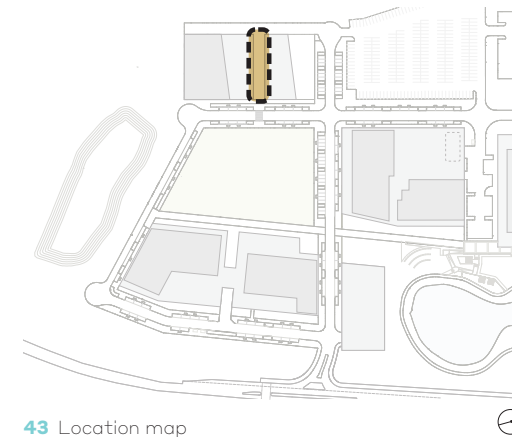
- A. To provide a small scale urban space that supports social interaction between residents in ILA (Stages 1 and 2) that is universally accessible.
- B. To provide a clear point of arrival and gathering that is at grade to any future development to the eastern side of the Pedestrian Spine.

#### Guidelines:

##### The design of the Cafe Plaza should:

1. Provide a maximum of 320 sqm area for the Cafe Plaza.
2. Be designed to be accessible at grade from High Street, both ILAs and the Pedestrian Spine.
3. Provide a mix of landscaped and hardscaped areas for outdoor seating to allow for cafe uses.
4. Be integrated with adjacent public realm elements particularly High Street and Pedestrian Spine.
5. Consider suitable landscape and planting to afford shade to seated areas.

### 5.5.4 RACF and Childcare Plaza



43 Location map

#### Objectives:

- A. To provide an urban plaza space in between the RACF and Childcare that is open to the sky.
- B. To provide safe access for residents and visitors to building lobbies that is universally accessible.

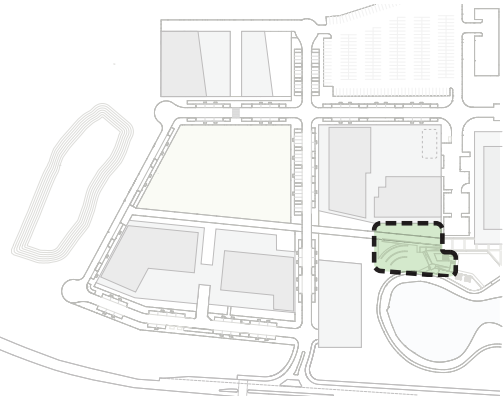
#### Guidelines:

##### The design of the RACF and Childcare Plaza should:

1. Provide a minimum 360 sqm area for the RACF and Childcare Plaza, with a minimum width of 8m between the RACF and Childcare buildings to provide a pedestrian only connection that extends between Innovation Way and the western edge of the RACF and Childcare in accordance with Figure 33.
2. Be designed to be accessible at grade from Innovation Way and the RACF and Childcare lobbies.
3. Minimise vehicle / pedestrian conflicts at the porte cochere, to be located at the western end of the RACF and Childcare Plaza, through a detailed design of access points and pathways.
4. Provide measures to restrict vehicular access including bollards, landscape elements and the like. Minimise blind spots where possible to ensure safe access for residents and visitors.
5. Incorporate a palette of materials and planting that is co-ordinated with the landscape elements along Innovation Way and the Green Heart.



### 5.5.6 Landscaped Area (ILA Stage 1 and Existing Pond)



44 Location map

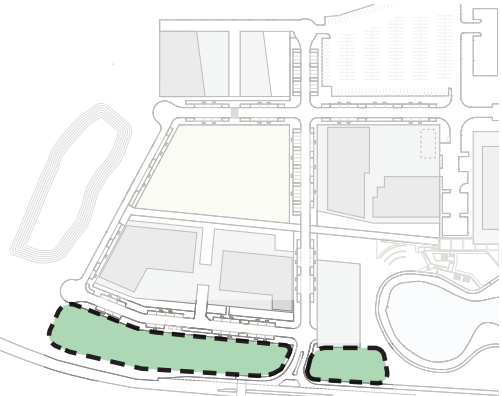
#### Objectives:

- A. To provide a universally accessible landscape transition between ILA (Stage 1) and the existing pond.
- B. To provide a landscaped space that supports social interaction between ILA residents, students, staff and visitors.
- C. To support the Lounge Facilities in ILA (Stage 1).
- D. To maximise its north-east facing aspect overlooking the existing pond.

#### Guidelines:

1. Provide a mix of landscaped and hardscaped areas on both sides of the Pedestrian Spine for outdoor seating that complements the Lounge Facilities in ILA (Stage 1), including suitable trees and planting to afford shade to the outdoor seating area, providing a place for residents, students, staff and visitors to interact.
2. The landscaped area to the west of the Pedestrian Spine is to be designed to be accessible at grade from ILA (Stage 1), and directly accessible from the Lounge Facilities in ILA (Stage 1).
3. The landscaped area to the east of the Pedestrian Spine is to provide a universally accessible path that connects the Pedestrian Spine down to the existing pond.

### 5.5.5 Landscaped Area (Squires Way)



45 Location map

#### Objectives:

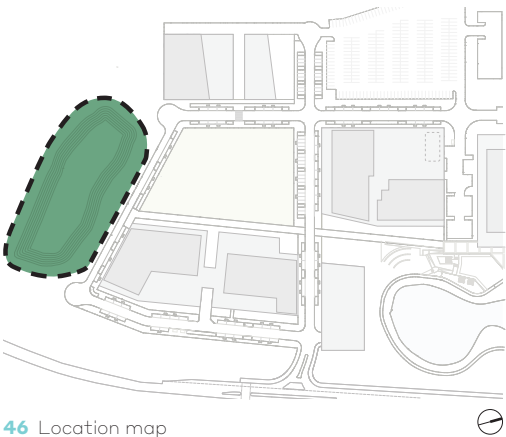
- A. To provide an earth-based aesthetic landscape element that provides an observation point along Squires Way, with consideration to the existing Sydney Water easement below (see Figure 4).
- B. To provide an alternative pedestrian pathway between Squires Way and Road 1, which starts/ends close to the new signalised pedestrian crossing on Squires Way.
- C. To assist in providing some acoustic buffering along Squires Way.

#### Guidelines:

1. Ensure that the design of the Landscaped Area (Squires Way) prioritises the enhancement of the existing environment.
2. Provide an accessible pedestrian pathway with a minimum width of 2.5m to connect Squires Way and Road 1, which may align with the Sydney Water easement.
3. Provide a new footpath along the western side of Squires Way that connects High Street with the future Innovation Way extension to the south and Puckey's Avenue to the north.
4. Provide additional pedestrian connections off this new footpath that link down to the existing pond and back to the Pedestrian Spine, as part of the future CHB design response (separate future SSDA).
5. Incorporate a mix of planting and trees that is co-ordinated with the landscape elements of the rest of the H&WP.



5.5.7 Landscaped Mound and Public Viewing Platform



46 Location map

Objectives:

- A. To provide a universally accessible vantage point with an unobstructed view of Djeera (Mt Keira) and Djembla (Mt Kembla) similar to the view shown in Figure 47 on the right.
- B. To provide visitors with an opportunity to learn about the significance of Djeera (Mt Keira) and Djembla (Mt Kembla) together as part of the Cultural Trail across the precinct.

Guidelines:

1. Provide a Public Viewing Platform on top of the Landscaped Mound and ensure that it is universally accessible from street level. Stairs may be provided but accessible ramps must be provided as part of its design to ensure equitable access for residents and the public. Lifts should not form part of the access strategy for the Public Viewing Platform.
2. Ensure that unobstructed views of Djeera (Mt Keira) and Djembla (Mt Kembla) are provided from the Public Viewing Platform, similar to the view shown in Figure 47 on the right.
3. Provide interpretive signage (or similar) on the Public Viewing Platform, in consultation with the First Nations Community.
4. Ensure that the design of the Landscaped Mound and Public Viewing Platform is developed in consultation with the First Nations community.
5. Should future stage development occur in this location, the Future University Building must incorporate an accessible Public Viewing Platform in its design. It may be provided within the building envelope or on its rooftop and must meet the Objectives outlined above.



47 Unobstructed view of Djeera (Mt Keira) and Djembla (Mt Kembla)  
Source: View Impact Assessment: Supplementary Report (Ethos Urban, 2023)



## 5.6 Public Art



### Overview

The WDCP Chapter D14 - Section 10.7 (Public Art) provides for the incorporation of public art as an important component of the Innovation Campus landscape to promote and celebrate the built and natural environment, to contribute to the area’s cultural identity and to create a distinctive sense of place. The guidelines below are in addition to the DCP objectives and guidelines and should also be applied to public art projects within the H&WP.

### Guidelines

1. Ensure that public art can be enjoyed and experienced by people of different ages and cultural backgrounds.
2. Provide public art that responds to the challenge of climate change through sustainable design and fabrication.
3. Integrate public art opportunities as part of the Cultural Trail overlay to assist with the articulation of the narrative embodied within the Connecting to Country approach to the precinct. First Nations stakeholders are to be consulted with any selection of Public Art.
4. Provide public art opportunities that support the integration of the H&WP uses and help build strong community connections.
5. Carefully integrate public art with the built and landscape fabric.
6. Ensure that designs are appropriate, safe in the public context and easily maintained.

### Note:

*A Public Art Strategy (including the Landscaped Mound) that responds to the above is to be submitted to Council for approval prior to the commencement of any public art works.*

## 5.7 Way Finding



### Objective:

Way finding for the H&WB Precinct should be part of an integrated strategy that considers the use of material treatment, built form markers and signage systems to help people navigate through buildings and the public domain and provide direction where appropriate to key destinations.

### Guidelines

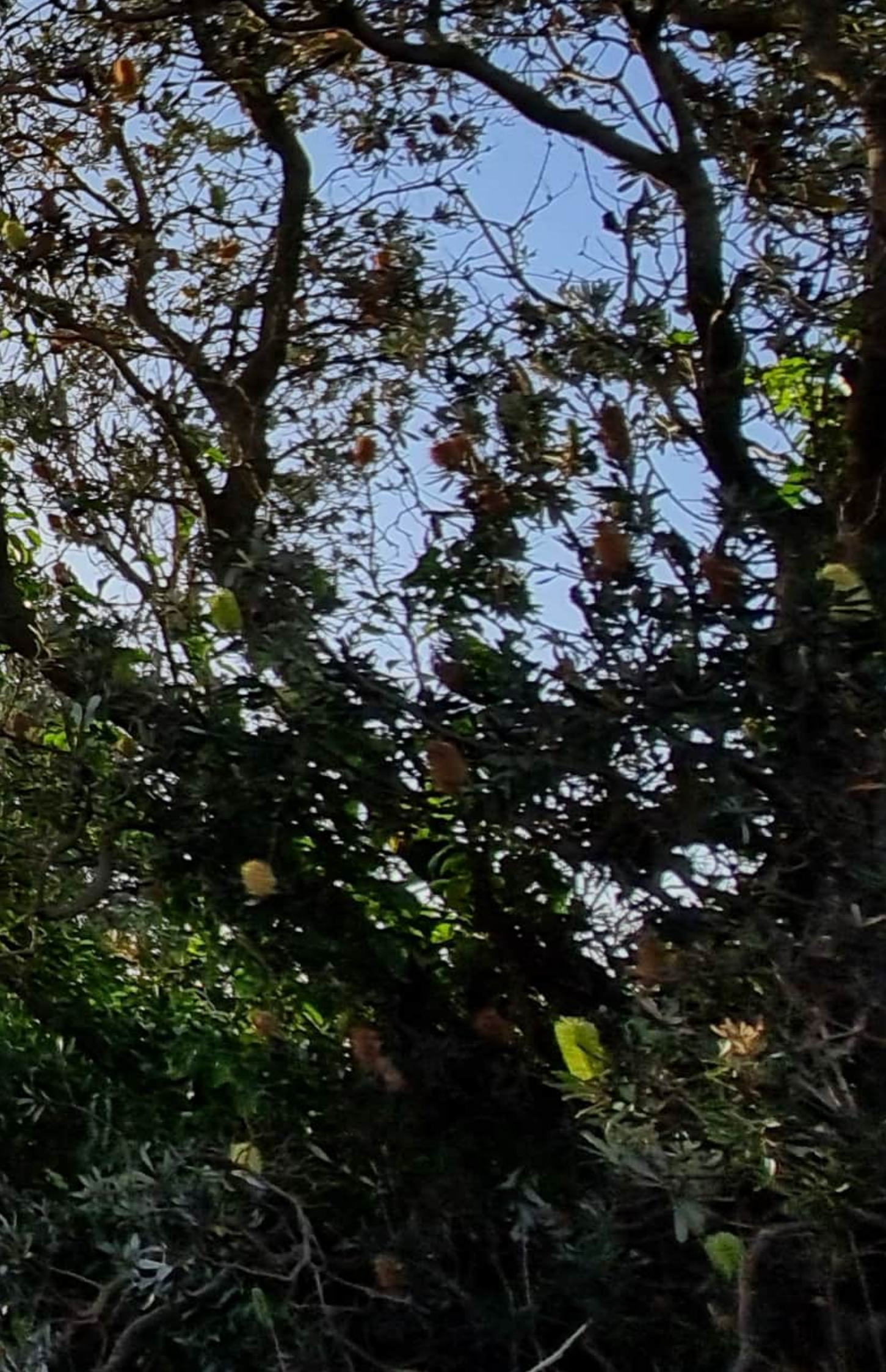
1. Develop a clear and easy to understand way finding strategy for the precinct that provides consistency with existing University of Wollongong Signage Design and Production Guidelines.
2. Systems should be developed and appropriately co-ordinated with other way finding in the wider Innovation Campus (e.g. The Central, ITAMS, Mike Codd, etc.).
3. Integrate public art opportunities into the signage strategy as part of the Way Finding Strategy to assist with the articulation of the narrative embodied within the Connecting to Country approach to the precinct. First Nations stakeholders are to be consulted with any development of signage related to the Cultural Trail.
4. Use signage sparingly where required to minimise visual clutter within the natural and built environments.







# PRECINCT-LEVEL BUILT FORM CONTROLS

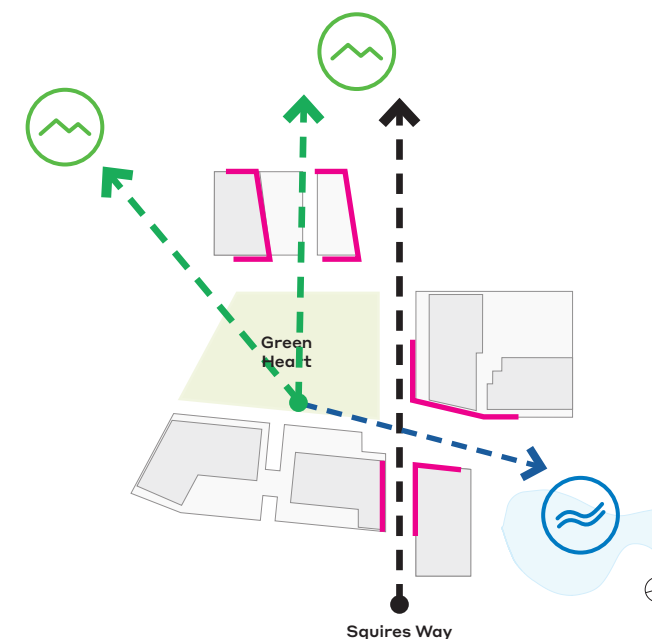




## 6.0 Precinct Level Built Form Controls

The built form principles of the H&WP has been developed to celebrate its incredible coastal landscape setting while ensuring a considered approach is taken to align it with the objectives of the WDCP and the themes identified in our Connecting with Country Process. These principles also underpin an approach to provide certainty around good development outcomes and amenity for future residents, visitors and staff.

### 6.1 Built Form Principles

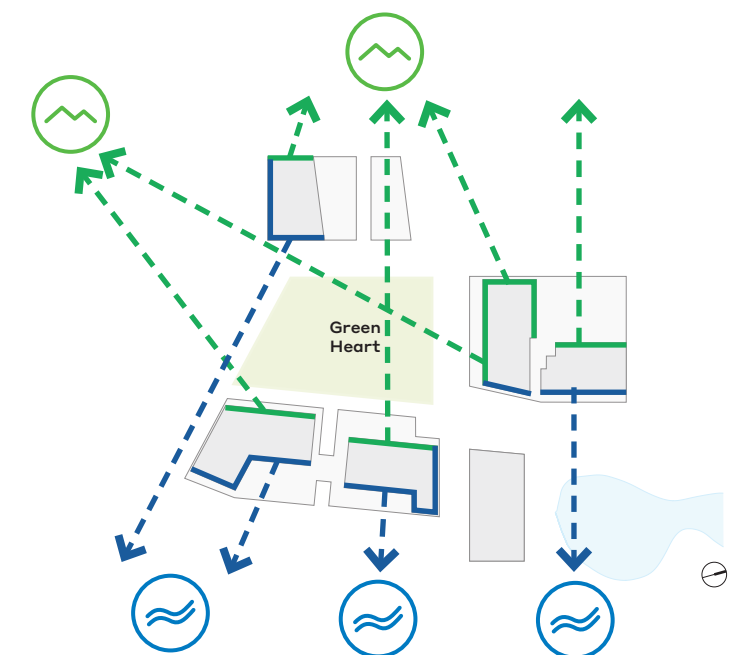


**1. Develop built form outcomes to protect views to the Illawarra Escarpment, Djeera (Mt Keira) and Djembla (Mt Kembla) from the public domain to maximise residents and visitors experience of Country.**

The alignment and placement of building envelopes should be consistent with the outcomes of any Visual Impact Analysis undertaken as part of the master plan. They should accommodate both long and short views across the site.

This includes views from Squires Way, High Street and the Green Heart to Djembla (Mt Kembla) and Djeera (Mt Keira).

Views from the Green Heart towards the escarpment and surrounding landscape elements, including the Cabbage Tree Creek bushland, the existing pond and Puckey's Estate, should also be prioritised.

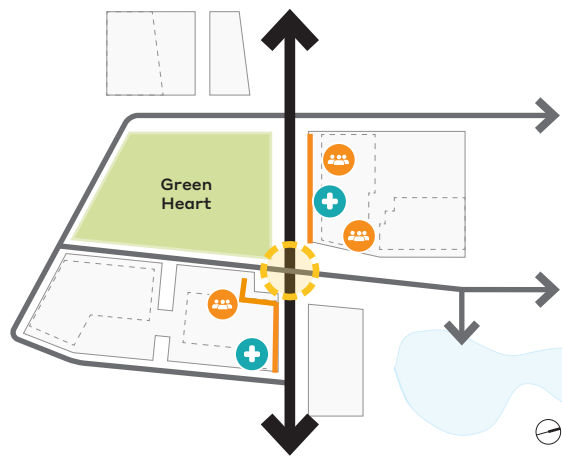


**2. Develop built form outcomes that enable sharing of views between buildings to maximise all residents to experience of Country.**

To ensure all residents are able to experience Country, visual connection to the surrounding landscape from future buildings will form a key part of how residents will experience Country.

The placement of building envelopes above the podiums will be orientated and configured to share views of Country beyond the immediate site, especially the Illawarra Escarpment, Djeera (Mt Keira) and Djembla (Mt Kembla) and views east to the coast.



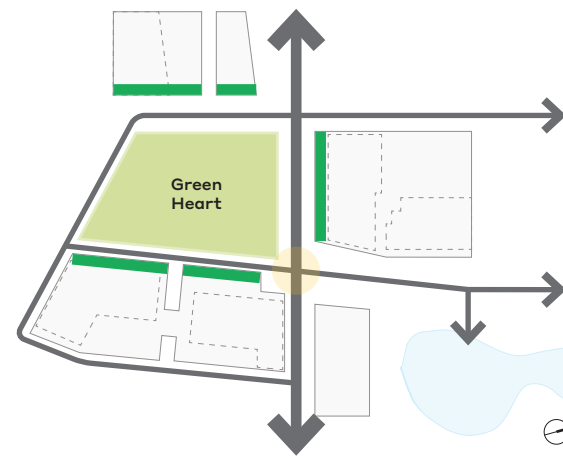


### 3. Prioritise key health and well-being uses at street level along the High Street to facilitate activation.

Prioritise communal, health and well-being uses along the High Street and Innovation Way to ensure they are easily accessible and highly visible.

The co-location of these uses along key public domain interfaces will also help develop an intensity of use within these areas to encourage greater social interaction between residents, students, staff, visitors and the wider community.

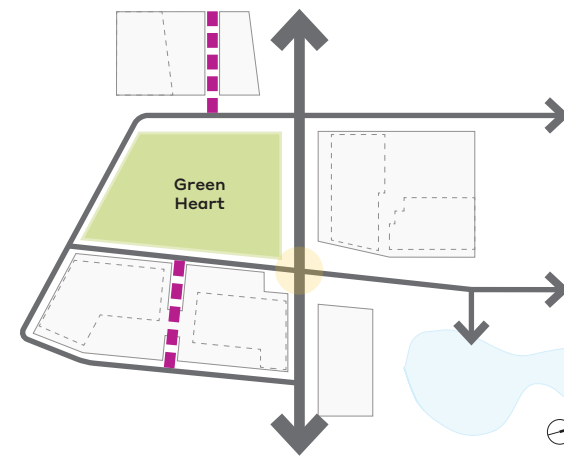
In locations where key communal, health and well-being uses are not prioritised, provide sleeved apartments and lobbies to also provide activation and passive surveillance along these street frontages.



### 4. Develop envelopes that ensure safety and surveillance to streets and public domain interfaces within the precinct.

Building envelopes with interfaces to the Green Heart should provide a low scaled street wall to ensure pedestrian comfort of residents, students, staff and visitors.

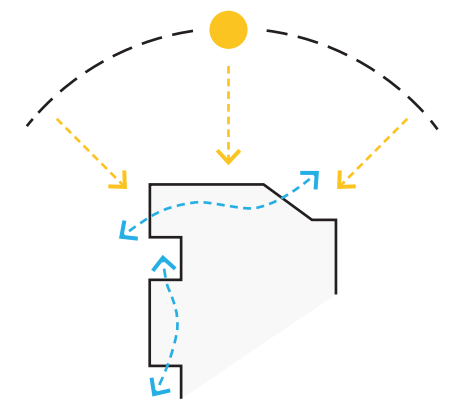
The street wall will be activated by residential and care uses that will provide constant passive surveillance and ensure resident and visitor security while presenting an appropriate built form scale to the Green Heart.



### 5. Develop envelopes that are capable of supporting mid-block links to improve site permeability and walkability.

Building envelopes with interfaces to the Green Heart should provide a low scaled street wall to ensure pedestrian comfort of residents, students, staff and visitors.

The low scale street wall will present an appropriate scale to the Green Heart and provide passive surveillance on this major green space to ensure resident security.



### 6. Prioritise solar access and ventilation amenity to retirement living apartment envelopes.

To maximise solar and cross ventilation amenity, all proposed envelopes that have been identified for Independent Living uses should be developed to ensure compliance with minimum separation, solar access and cross ventilation requirements, set out in the Housing SEPP / ADG as a minimum.



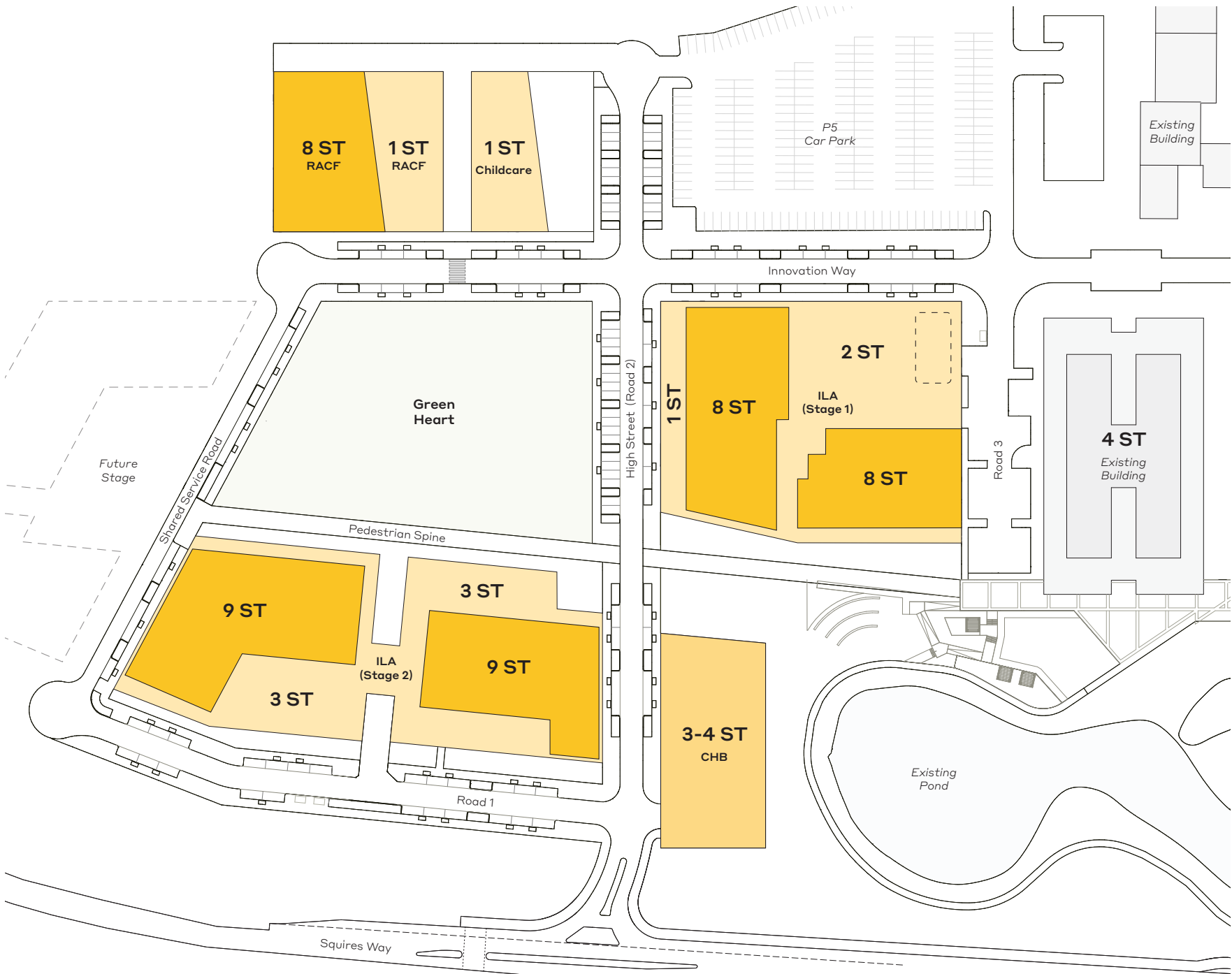
## 6.2 Built Form Height

**Objectives:**

- A. To provide a consistent street wall height and podium scale within the H&WP that positively contributes to the physical definition of the public domain.
- B. To ensure that development is consistent with the current 30m height limit as prescribed by the Wollongong Local Environmental Plan 2009 (LEP).
- C. To maximise solar access at key times to new public open spaces, particularly the Green Heart.

**Guidelines:**

- 1. Ensure that podium heights are a maximum of three storeys.
- 2. Provide a strong demarcation at the top of the podium.
- 3. Ensure that total building heights (including parapets) are consistent with the LEP 30m height limit. All rooftop plants, services, stairs and lift overruns are not to exceed 30m and are to be set back from the edge of the building to minimise visual impact when viewed at street level.
- 4. Ensure that development do not overshadow 75% of the open areas of the Green Heart between 10.30am and 3pm at mid-winter.



48 Built form heights

SCALE 1:1500 @ A3

**LEGEND**

- Up to 3 storeys
- Up to 4 storeys
- Up to 9 storeys



### 6.3 Rooftops

**Objectives:**

- A. To maximise opportunities to use roof space for use as private and communal open space.
- B. To incorporate sustainability features into the roof design.
- C. To minimise roof plant extent and its visual impact when viewed from street level.

**Guidelines:**

- 1. Where possible, ensure that roof planes of one to two storey podiums and buildings that are looked down on by surrounding buildings are landscaped for the use and enjoyment of the H&WP inhabitants as private or communal roof terraces.
- 2. Where communal open spaces are provided on rooftops, ensure that a minimum of 50% of the principal usable part of the communal open space receives a minimum of 2 hours of direct sunlight between 9am and 3pm at mid-winter, consistent with the Housing SEPP / ADG requirements.
- 3. If the roof plane of a one to two storey podium or building is not landscaped for occupation, ensure that it has a well-conceived architectural or landscape expression. Exposed membrane and blue metal screeds are not acceptable.
- 4. Provide architectural screening to any rooftop plant or services (including telecommunication elements) so that the elements read as an integral part of the overall form and design.
- 5. Provide varied silhouettes and edge treatments to roof levels.

### 6.4 Built Form Articulation and Volumetric Envelope Utilisation

**Objectives:**

- A. To reduce visual bulk and scale.
- B. To provide diversity of built form and separate identities for the buildings through an articulated form against the sky.
- C. To provide an articulation zone for built form modulation to support a highly articulated building.

**Guidelines:**

- 1. Provide different wall types in terms of transparency and solidity with the ability to open up and close down.
- 2. Provide high degree of modelling and articulation to signal pedestrian entries, lobbies, and to create interstitial spaces suitable for gathering.
- 3. Integrate sun shading with the building fabric.
- 4. Ensure minimum 50% of balustrade at podium edge is transparent or permeable.
- 5. Ensure articulation of the top levels with well-defined and identifiable elements to create visual interest and diversity in the form against the skyline and to provide a sense of identity for residents, students, staff and visitors through skyline silhouettes or architectural expression.
- 6. Maximum utilisation of a building envelope (three dimensional volume that defines the outermost part of a site that the building can occupy - ADG definition) above one to two level podiums:

Building	Maximum control
ILA (Stage 1)	70%
ILA (Stage 2)	65%
RACF and Childcare	70%









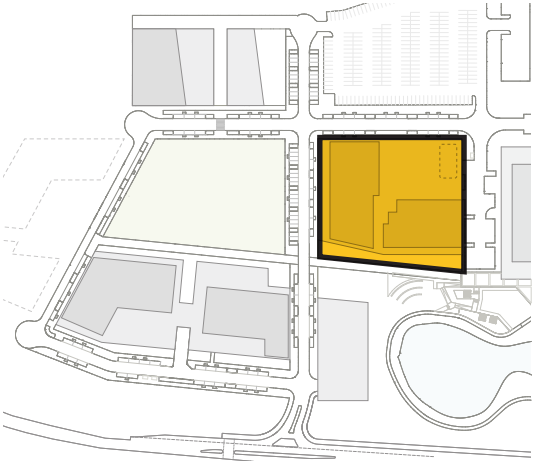
# **SITE-SPECIFIC BUILT FORM CONTROLS**



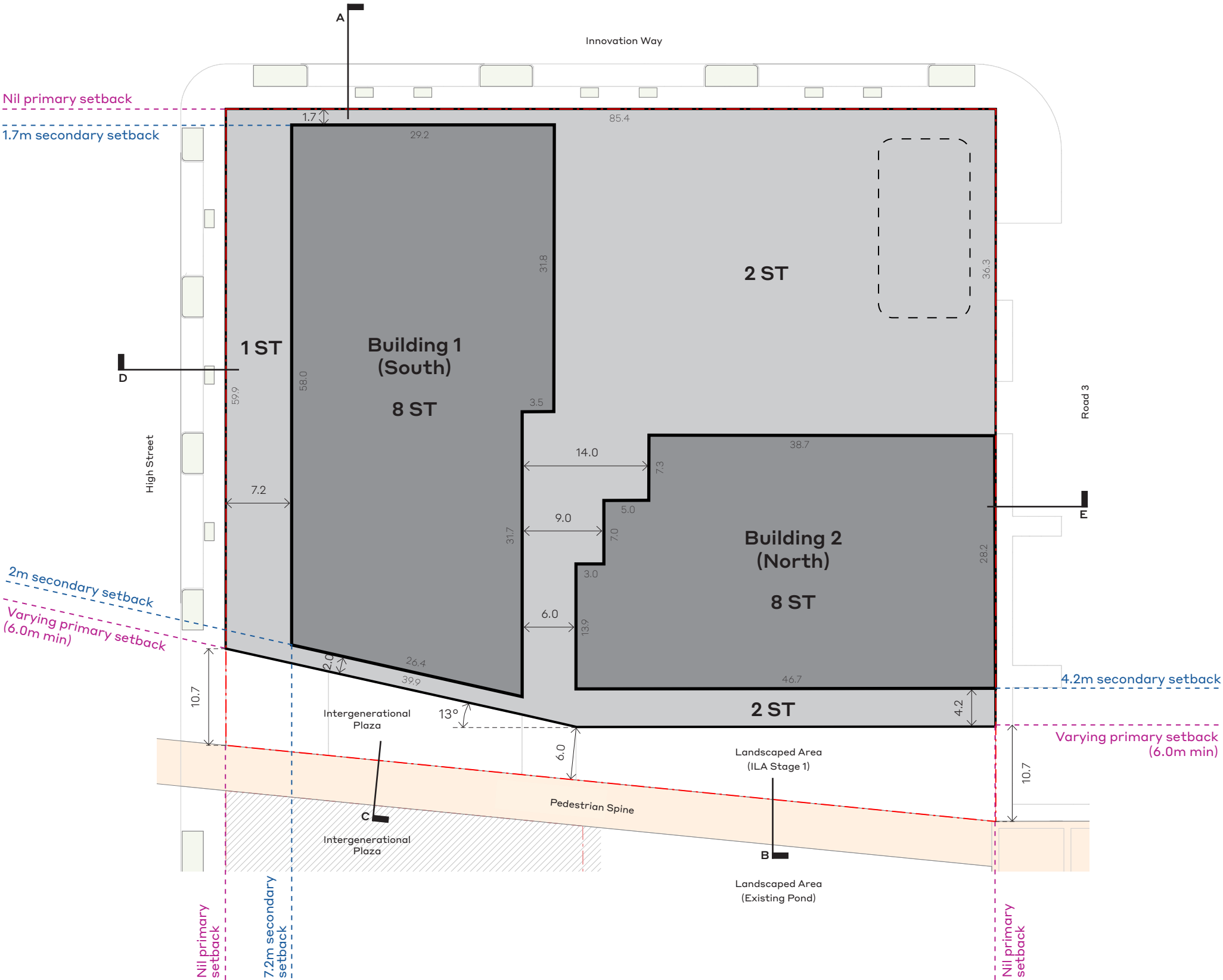
# Building Envelope Plan ILA (Stage 1)

- LEGEND
  - Lot boundary
  - Building envelope (podium levels)
  - Building envelope (above podium levels)
  - Indicative area for lightweight structure providing canopy and screening for communal open space
  - Primary setbacks (podium levels)
  - Secondary setbacks (above podium levels)

**Note:**  
The building envelopes shown on the right are inclusive of articulation zones and are not representative of the building line.  
Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.



49 Location map



50 ILA (Stage 1) - Building envelope plan  
Source: PTW & Ethos Urban

SCALE 1:500 @ A3



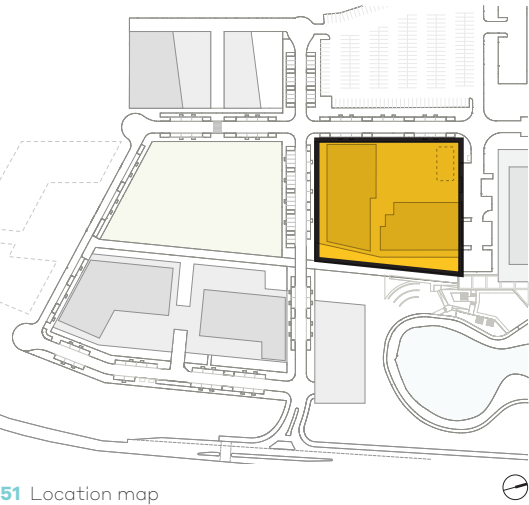
# 7.0 Site-specific Built Form Controls

## 7.1 ILA (Stage 1)

### Overview:

The ILA (Stage 1) building will comprise a 1-2 storey podium and two separate tower components above - Building 1 (south) and Building 2 (north). It will be positioned on the northern edge of the Green Heart and accommodate future residents of the H&WP with one, two or three-bedroom accommodation for older people who are actively independent and able to care for themselves.

The building will also include an integrated Wellness Centre, retail and research and education spaces within its podium levels to better integrate it with the existing Innovation Campus to the north as well as the CHB. Spaces within the building will be provided to facilitate University-led research, teaching and/or learning projects, consistent with the H&WP Management Plan, for UOW to use in collaboration with the building's residents, visitors and staff.



51 Location map

### 7.1.1 Land Use



#### Objectives

- A. To comprise of high quality residential independent living apartments with street-orientated retail, community, communal and research and education uses.
- B. To support University-led projects for the purposes of health and wellbeing research, with dedicated teaching, learning and research spaces.

#### Guidelines

- 1. The following uses are to be provided within the podium:
  - a. Small scale retail uses
  - b. Community uses (including a Wellness Centre and an Intergenerational Hub)
  - c. Communal uses (for resident use)
  - d. Research and education spaces
  - e. Sleeved parking, loading and building services
  - f. Independent living apartments
- 2. The following use is to be provided above the podium:
  - a. Independent living apartments
- 3. At least 10% of ILA units are to be 1-bedroom units or 1-bedroom plus study units to enhance diversity and affordability.
- 4. Above ground parking is permitted, but a minimum 80% of all ground floor frontages along High Street, the Pedestrian Spine and Innovation Way are to be sleeved with retail, community, communal, research and education uses and/or lobbies to activate and provide passive surveillance along these edges. All sleeved uses are to have a minimum depth of 6m and are to be provided in accordance with Section 8.0.
- 5. All non-residential sleeved uses at ground level are to provide minimum 50% visual permeability to encourage engagement between these uses and the public domain.
- 6. A dedicated research and education space with a minimum area of 1,000 sqm is to be provided. It is to include:
  - a. Direct external access on the ground floor.
  - b. A flat floor layout that allows movable tables and chairs to enable a variety of seating configurations.

- c. A flexible design (not a static lecture theatre) that supports a range of activities, including collaboration, interactive and formal research and education activities.
- d. Application of University standard of approx. 2 sqm/person for this use (approx. 75-person capacity).
- e. Suitable acoustic treatment to mitigate noise impacts to ILA residents, accessibility, audio and IT capability.
- f. Availability for use during normal business hours.

### 7.1.2 Building Heights



#### Objectives

- A. To ensure that buildings are compatible with the character of streets and the precinct as a whole.
- B. To ensure that buildings are designed to an appropriate height to protect solar access to the Green Heart and ILA (Stage 2).

#### Guidelines

- 1. Total building height, including lift overruns and rooftop plant areas, must not exceed 30m.
- 2. Generally, podium street wall heights are to be 2 storeys in accordance with the built form heights plan shown in Figure 43 unless otherwise indicated.
- 3. Floor-to-ceiling heights of habitable spaces are to be consistent with the ADG.



7.1.3 Setbacks



Objectives

- A. To create an appropriate human scale at the edges of the public domain by stepping back the built form above the podium level.
- B. To ensure that buildings are designed to an appropriate scale with sufficient building separation to protect solar access to the Green Heart and ILA (Stage 2).
- C. To accommodate clear sight lines between the Green Heart, Pedestrian Spine and the existing pond.
- D. To clearly distinguish between public and private domains, particularly for the interface to the Pedestrian Spine.

Guidelines

Refer to the building envelope plan shown in Figure 50.

Northern Edge - Road 3 (see Section E)

- 1. A zero primary setback is to be provided for the podium and tower along this edge.

Southern Edge - High Street (see Section D)

- 2. A zero primary setback is to be provided for the podium along this edge.
- 3. An minimum secondary setback of 7.2m for Building 1 (south) is to be provided above the podium levels along this edge to minimise overshadowing of the Green Heart.

Eastern Edge - Pedestrian Spine (see Sections B and C)

- 4. A minimum primary setback of 6m is to be provided for the podium along this edge to respond to the angle of the Pedestrian Spine and to frame the edges of the Intergenerational Plaza and Landscaped Area (ILA Stage 1).
- 5. The southern portion of the podium is to be angled to the west by a minimum of 13° (measured from the edge of the northern portion of the podium) to open up sight lines between the Green Heart, Pedestrian Spine and the existing pond.
- 6. A minimum secondary setback of 2.0m is to be provided for Building 1 (south) above the podium levels along this edge.
- 7. A minimum secondary setback of 4.2m is to be provided for Building 2 (north) above the podium levels along this edge.

Western Edge - Innovation Way (see Section A)

- 8. A zero primary setback is to be provided for the podium along Innovation Way.
- 9. A minimum secondary setback of 1.7m is to be provided above the podium levels along Innovation Way.

7.1.4 Built Form



Objectives

- A. To provide seamless, continuous and animated interfaces with the public domain.
- B. To provide depth in the external walls, interest at street level and highlighted entrances.
- C. To ensure residents can clearly recognise their home and assist in orienting them to the wider precinct.

Guidelines

- 1. Modulation and articulation of the built form is to be provided along High Street, the Pedestrian Spine and Innovation Way to break down the scale at street level.
- 2. Built form above the podium levels is to be oriented to maximise solar access and views to the Green Heart, existing pond, escarpment and coast, while minimising overshadowing to adjacent buildings and open space.
- 3. Built form above the podium levels is to be emphasised through a change in architectural expression, material selection and design elements.
- 4. Building 1 (south) and Building 2 (south) above podium are to comprise two clear and distinct forms capable of supporting dual aspect living units separated from each other a minimum distance of 6m.
- 5. Buildings are to provide a minimum separation to follow ADG requirements. This includes performance outcomes for solar performance and cross ventilation.
- 6. Solar access to ILA units are to be consistent with ADG requirements (Objective 4A-1) and are to be achieved through primary windows, not skylights or clerestory windows.
- 7. Building façades are to be articulated into smaller elements or distinctive treatments, at a scale or grain that reflects:
  - a. Different uses and/or components of the building.

- b. The ILA entries and/or lobby; and
- c. The ground floor, lower floors, top floor, and roof.

- 8. Buildings are to have distinct architectural expressions across the two ILA buildings to assist residents in orientation within the precinct.
- 9. Building entries are to be clearly visible, unobstructed, and easily identifiable from the street, other public areas and other development.
- 10. Mail boxes are to be perpendicular to the street and close to the primary building entrance.
- 11. Architectural form and expression of the Intergenerational Hub and communal uses along the eastern edge of the podium are to be co-ordinated with the design of the Intergenerational Plaza, Landscaped Area (ILA Stage 1), Pedestrian Spine and the future CHB.



7.1.5 Private Open Space



Objectives

- A. To provide ILA residents with private open spaces that have access to good amenity, including solar access and wind mitigation, that are directly accessible from their homes.
- B. Provide a place for residents to take in views of Djeera (Mt Keira) and Djembla (Mt Kembla) and the coastline safely.

Guidelines

- 1. Private open space may be provided above ground on the podium rooftops.
- 2. Private open spaces provided in the form of balconies are to meet the minimum depths and area requirements under the ADG (Objective 4E-1).
- 3. Any services located on balconies, such as clothes drying, storage or air conditioning units, are to be screened from view and are to be in addition to the minimum balcony size, consistent with ADG requirements (Objectives 4E-3 and Objective 4E-1).

7.1.6 Communal Open Space



Objectives

- A. To provide ILA residents with shared open spaces with good amenity to meet, gather and socialise.
- B. Provide a place for residents to take in views of Djeera (Mt Keira) and Djembla (Mt Kembla) and the coastline safely.

Guidelines

- 1. Podium rooftops may be utilised as communal open space.
- 2. A lightweight structure may be provided on the podium rooftop to provide canopy and screening for communal open space.
- 3. A minimum of 25% of the ILA (Stage 1) site area is to be provided as communal open space, consistent with ADG requirements (Objective 3D-1).
- 4. A minimum of 50% of the principal usable part of communal open spaces are to receive a minimum of 2 hours of direct sunlight between 9am and 3pm at mid-winter, consistent with ADG requirements (Objective 3D-1).
- 5. Communal open space is to be secured from the public realm and is to be for the exclusive use of ILA residents and their guests only.
- 6. Communal open space is to include varied spaces that can cater to a range of activities. An accessible toilet is to be provided with the communal open space.

7.1.7 Deep Soil Zones



Objectives

- A. To provide sufficient deep soil to support healthy vegetation and tree growth that improve residential amenity and promote management of water and air quality.

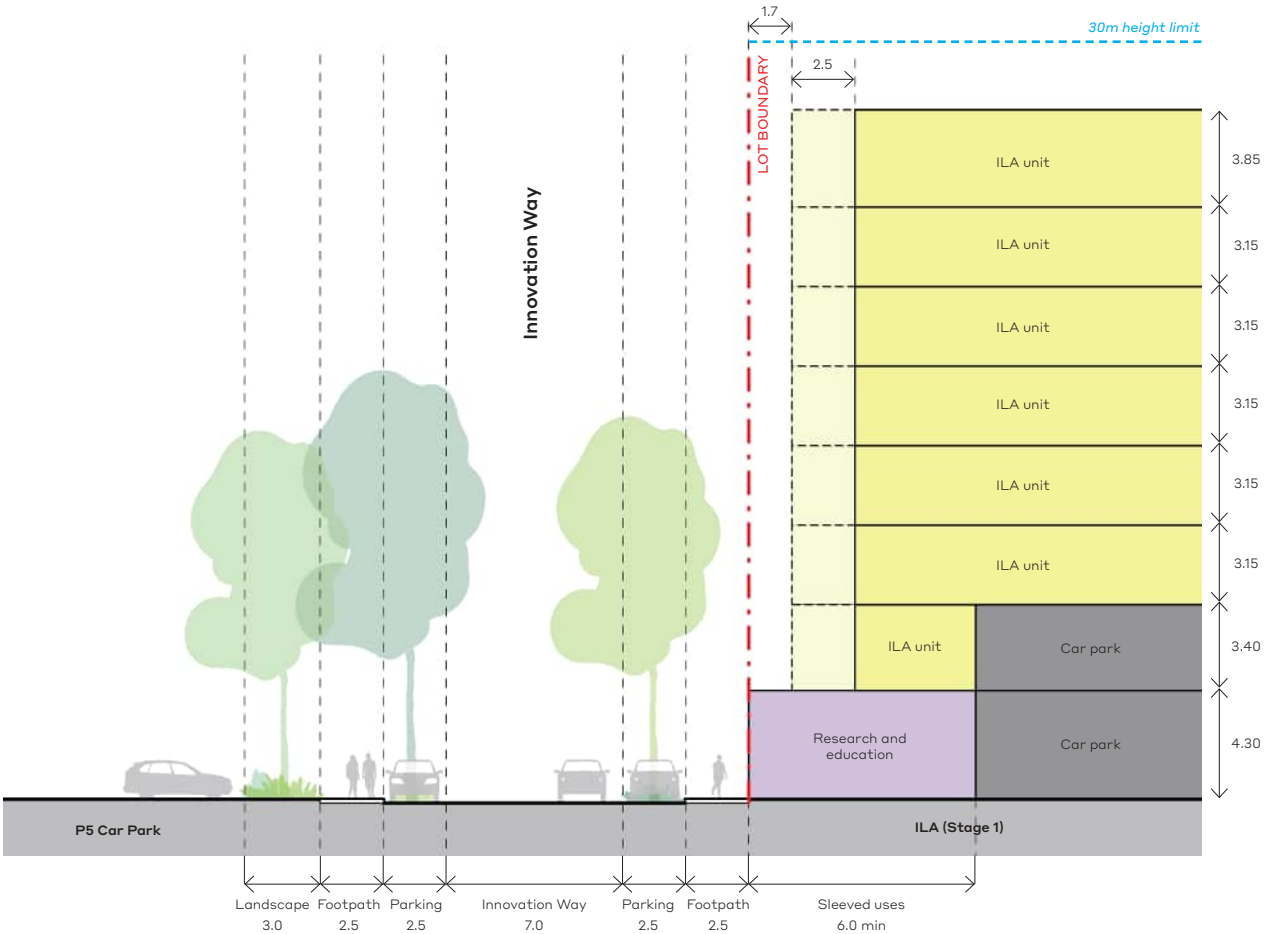
Guidelines

- 1. A minimum of 7% of the ILA (Stage 1) site area is to be provided as deep soil zone (with a minimum dimension of 6m), consistent with ADG requirements (Objective 3E-1).
- 2. Deep soil zones:
  - a. Are to be provided at the north-eastern corner of the site, along the Pedestrian Spine and along the eastern end of Road 3, as part of the Landscaped Area (ILA Stage 1) (see Section 5.5.6);
  - b. Are not to be provided along High Street and Innovation Way where active uses are to be located along the street edge;
  - c. Are not to be provided at the south-eastern corner of the site, along the Pedestrian Spine, where the Intergenerational Plaza is to be located (see Section 5.5.2); and
  - d. Are not to be provided along Road 3 where the Wellness Centre and podium car park are to be located.



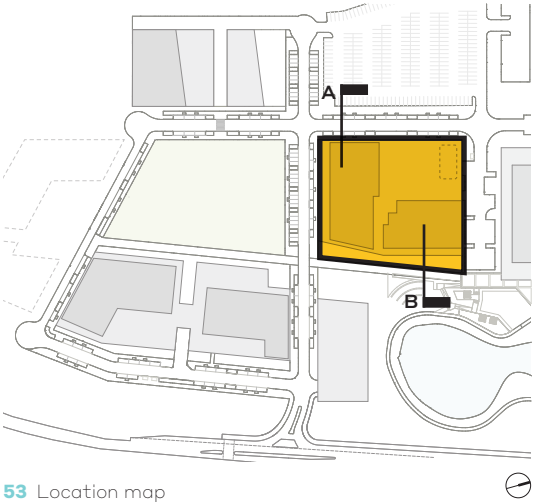
Section A

P5 Car Park - Innovation Way - ILA (Stage 1)



52 ILA (Stage 1) - Section A

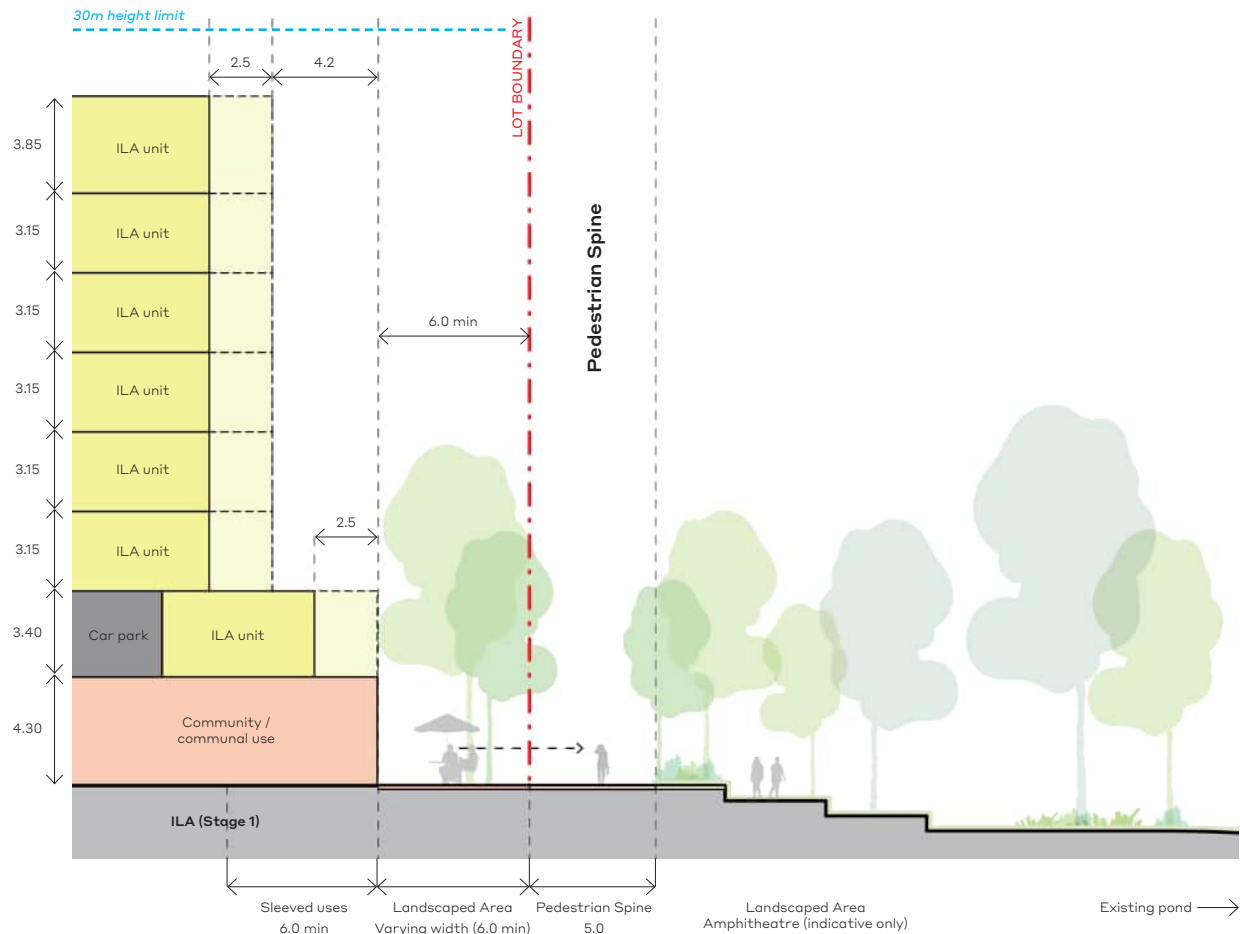
SCALE 1:300 @ A3



53 Location map

Section B

ILA (Stage 1) - Pedestrian Spine - Green Heart



54 ILA (Stage 1) - Section B

SCALE 1:300 @ A3

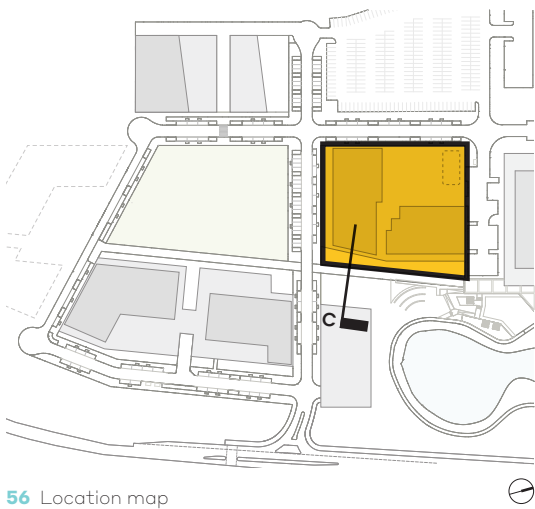
LEGEND

- Lot boundary
- ILA unit
- ILA articulation zones\*
- Research and education
- Car park

Note:

The articulation zones shown above sit within the overall building envelope (see Figure 50) and are not representative of the building line. Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.

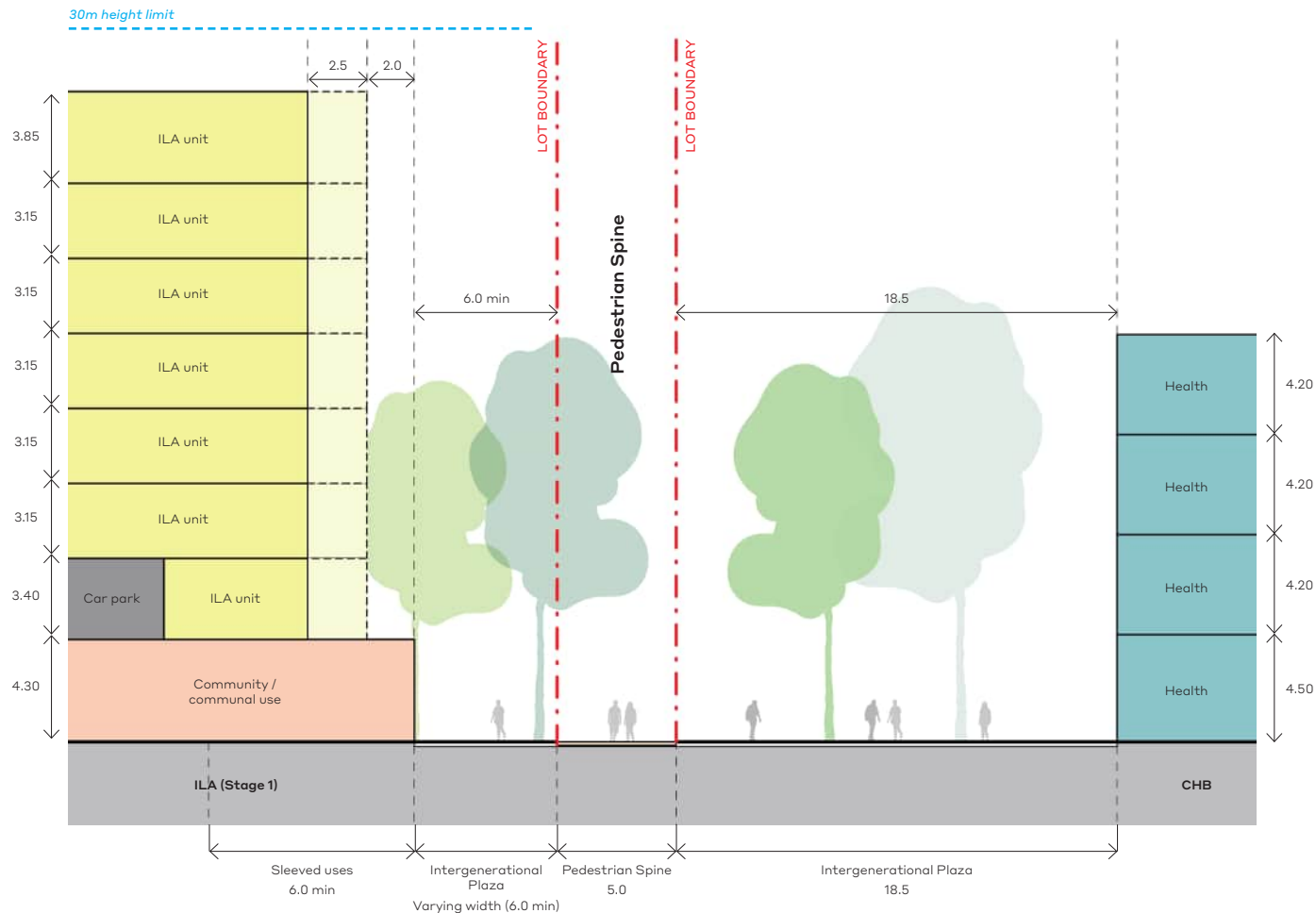




56 Location map

## Section C

ILA (Stage 1) - Pedestrian Spine / Intergenerational Plaza - CHB



55 ILA (Stage 1) - Section C

SCALE 1:300 @ A3

### LEGEND

- Lot boundary
- ILA unit
- ILA articulation zones
- Community / communal use
- Health use
- Car park

### Note:

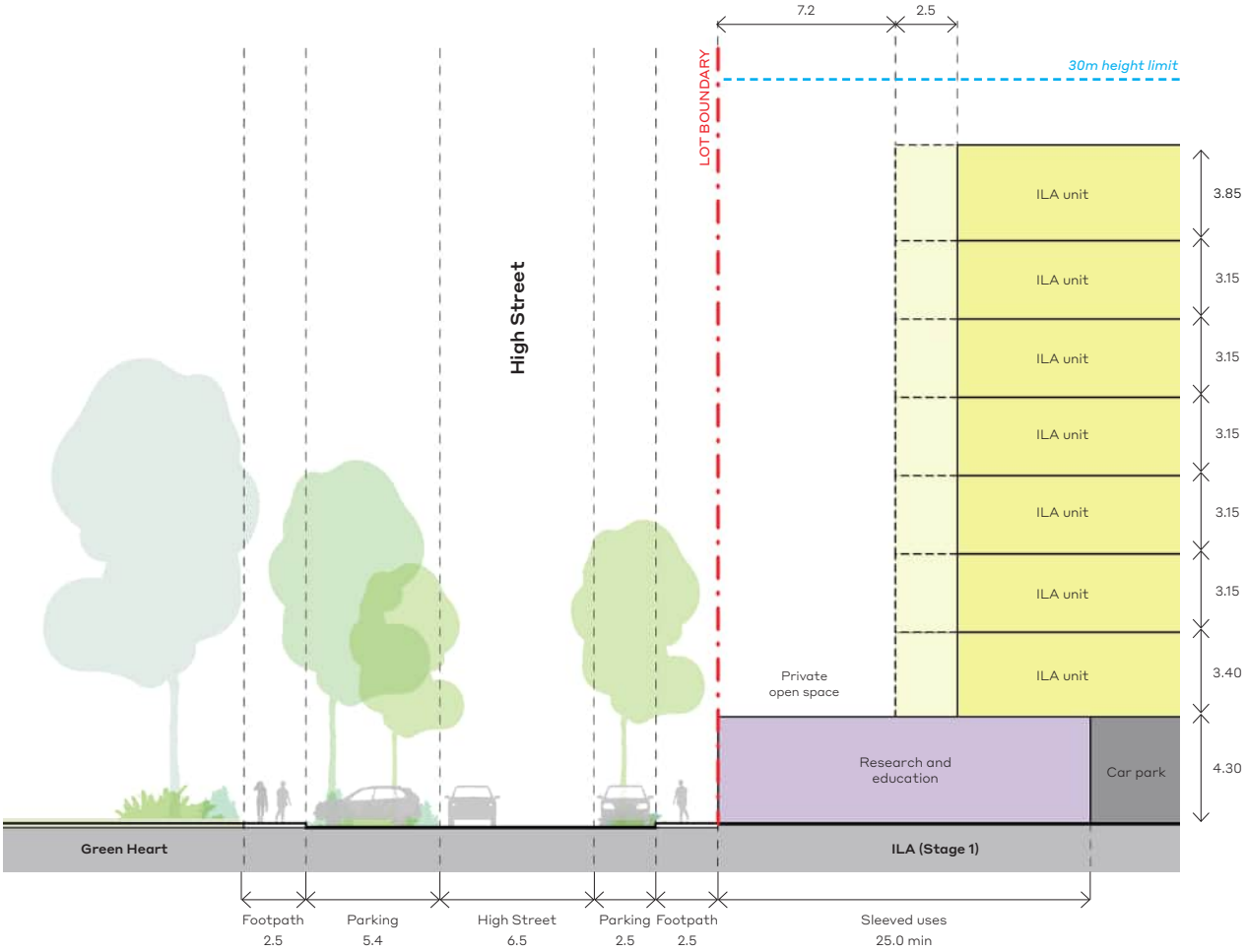
The articulation zones shown above sit within the overall building envelope (see Figure 50) and are not representative of the building line.

Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.



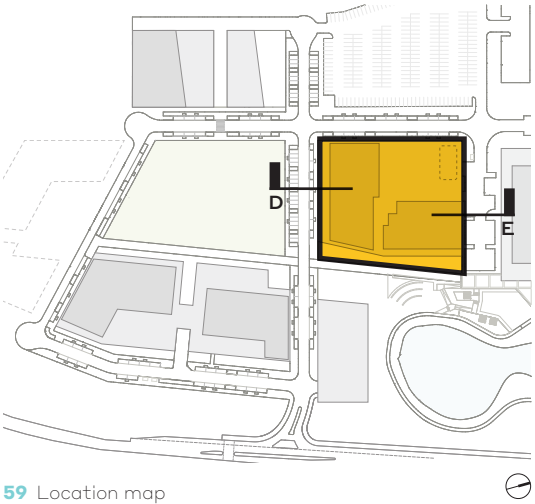
Section D

Green Heart - High Street - ILA (Stage 1)



57 ILA (Stage 1) - Section D

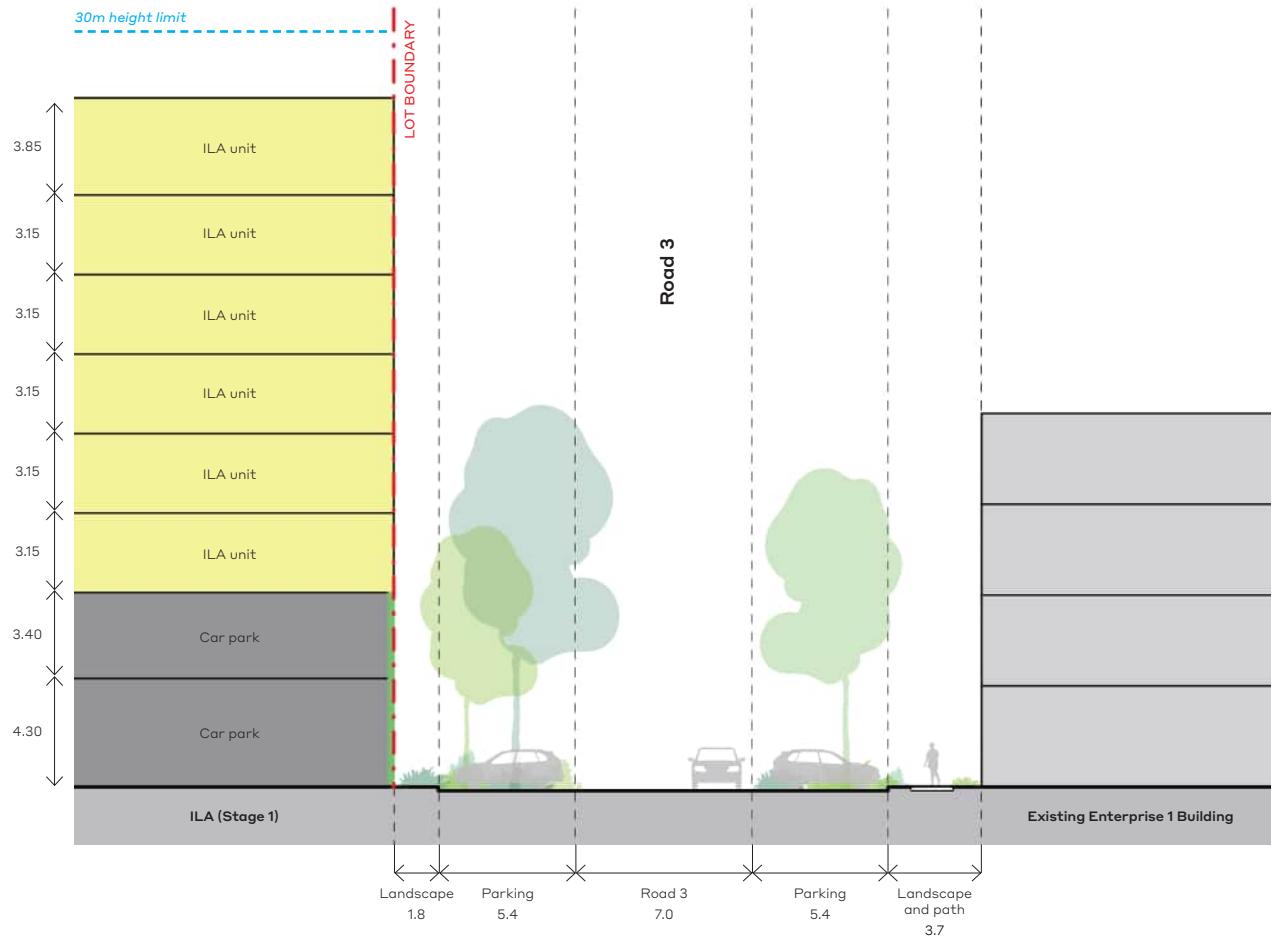
SCALE 1:300 @ A3



59 Location map

Section E

ILA (Stage 1) - Road 3 - Existing Enterprise 1 Building



58 ILA (Stage 1) - Section E

SCALE 1:300 @ A3

LEGEND

- Lot boundary
- ILA unit
- ILA articulation zones
- Research and education
- Car park
- Existing building
- Green wall / art wall

Note:

The articulation zones shown above sit within the overall building envelope (see Figure 50) and are not representative of the building line. Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.



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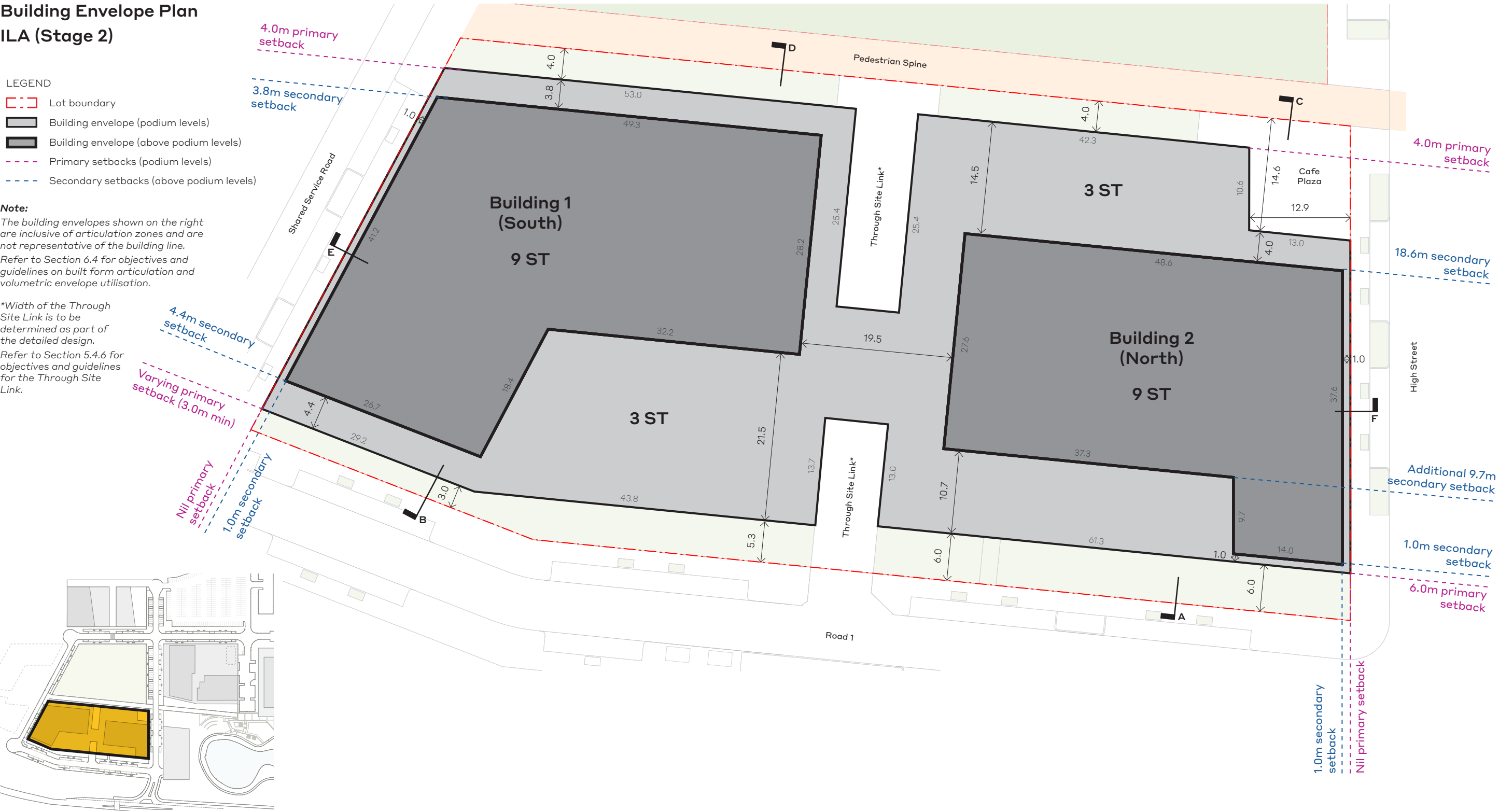
# Building Envelope Plan ILA (Stage 2)

- LEGEND

  - Lot boundary
  - Building envelope (podium levels)
  - Building envelope (above podium levels)
  - Primary setbacks (podium levels)
  - Secondary setbacks (above podium levels)

**Note:**  
 The building envelopes shown on the right are inclusive of articulation zones and are not representative of the building line.  
 Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.

\*Width of the Through Site Link is to be determined as part of the detailed design.  
 Refer to Section 5.4.6 for objectives and guidelines for the Through Site Link.



60 Location map

61 ILA (Stage 2) - Building envelope plan  
 Source: PTW & Ethos Urban

SCALE 1:500 @ A3



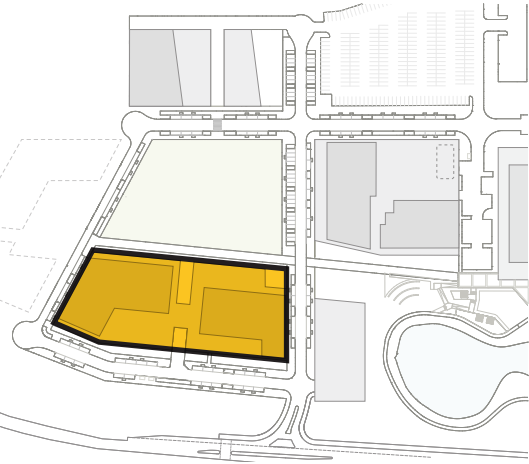
## 7.2 ILA (Stage 2)

### Overview:

The ILA (Stage 2) building will comprise a 3-storey podium in two portions separated at its midpoint and connected by vehicular access above ground level within the podium levels. Two taller buildings will be located above the podium level.

ILA (Stage 2) will be positioned on the eastern edge of the Green Heart. Similar to ILA (Stage 1), these buildings will accommodate future residents of the H&WP comprising one, two or three-bedroom accommodation for older people who are actively independent and able to care for themselves. It will include rooftop communal facilities for residents of the building.

At ground level, ILA (Stage 2) will also include community uses, research and education spaces along High Street and a cafe fronting a plaza at the corner of the Pedestrian Spine and High Street. Spaces within the podium will facilitate University-led research, teaching and/or learning projects, consistent with the H&WP Management Plan, for UOW to use in collaboration with the building's residents, visitors and staff.



62 Location map

### 7.2.1 Land Use



#### Objectives

- A. To comprise of high quality residential independent living apartments with street-orientated retail, community, communal and research and education uses.
- B. To support University-led projects for the purposes of health and wellbeing research, with research and education spaces.

#### Guidelines

- 1. The following uses are to be provided within the podium:
  - a. Small scale retail use (cafe)
  - b. Communal uses (for resident use)
  - c. Research and education spaces
  - d. Sleeved parking, loading and building services
  - e. Independent living apartments
- 2. The following use is to be provided above the podium:
  - a. Independent living apartments
- 3. The following uses are to be provided on the rooftop of Building 2 (north):
  - a. Communal uses (for residents)
  - b. Dedicated research and education space (preferred location)
- 4. At least 10% of ILA units are to be 1-bedroom units or 1-bedroom plus study units to enhance diversity and affordability.
- 5. Above ground parking is permitted, but a minimum 80% of all ground floor frontages along High Street, the Pedestrian Spine, Shared Service Road and Road 1, are to be sleeved with ILA units and lobbies, retail, community, communal and/or research and education uses to activate and provide passive surveillance along these edges. All sleeved uses are to have a minimum depth of 6m and are to be provided in accordance with Section 8.0.
- 6. A dedicated research and education space with a minimum area of 1,500 sqm is to be provided. It is to include:
  - a. A flat floor layout that allows movable tables and chairs to enable a variety of seating configurations.
  - b. A flexible design (not a static lecture theatre) that supports a range of activities, including collaboration, interactive and formal research/learning activities.

- c. Application of University standard of approx. 2 sqm/person for this use (approx. 50-person capacity).
- d. Ideally to be located on the rooftop level or alternatively, on the ground level with direct external access.
- e. May be connected with other communal uses to provide for flexibility of use.
- f. Suitable acoustic treatment to mitigate noise impacts to ILA residents, accessibility, audio and IT capability.
- g. Availability for use during normal business hours.

### 7.2.2 Building Heights



#### Objectives

- A. To ensure that buildings are compatible with the character of streets and the precinct as a whole.
- B. To ensure that buildings are designed to an appropriate height to protect solar access to the Green Heart.

#### Guidelines

- 1. Total building height, including lift overruns and rooftop plant areas, must not exceed 30m.
- 2. Podium street wall height is to be 3 storeys in accordance with the built form heights plan shown in Figure 43 unless otherwise indicated.
- 3. Floor-to-ceiling heights of habitable spaces are to be consistent with the ADG.



7.2.3 Setbacks



Objectives

- A. To create an appropriate human scale at the edges of the public domain by stepping back the built form above the podium level.
- B. To ensure that buildings are designed to an appropriate scale with sufficient building separation to protect solar access to the Green Heart.
- C. To clearly distinguish between public and private domains, particularly for the interface to the Pedestrian Spine.

Guidelines

Refer to the building envelope plan shown in Figure 61.

Northern Edge - High Street (see Section F)

- 1. Generally, a zero primary setback is to be provided for the podium along this edge to provide activation along High Street.
- 2. A minimum primary setback of 12.9m is to be provided at the north-western corner of the podium along this edge to accommodate the Cafe Plaza.
- 3. A minimum secondary setback of 1m is to be provided for Building 2 (north) above the podium levels along this edge.

Southern Edge - Shared Service Road (see Section E)

- 4. A zero primary setback is to be provided for the podium along this edge.
- 5. Increased ground level setbacks are to be provided along this edge to accommodate ILA private gardens.
- 6. A minimum secondary setback of 1m is to be provided for Building 1 (south) above the podium levels along this edge.

Eastern Edge - Road 1 (see Sections A and B)

- 7. Generally, primary setbacks of 3m and 6m as indicated on the building envelope plan (Figure 61) are to be provided for the podium along this edge to accommodate a landscape buffer.
- 8. Increased ground level setbacks are to be provided along this edge to accommodate ILA private gardens.
- 9. Building 1 (south) is to provide a minimum secondary setback of 4.4m above the podium levels along this edge.

- 10. Building 2 (north) is to provide a minimum secondary setback of 1m above the podium levels along this edge. An additional secondary setback of 9.7m is to be provided for the top level of Building 2 along this edge.

Western Edge - Pedestrian Spine (see Sections C and D)

- 11. Generally, a primary setback of 4m is to be provided for the podium along this edge to accommodate a landscape buffer.
- 12. Increased ground level setbacks are to be provided along this edge to accommodate ILA private gardens.
- 13. A minimum primary setback of 14.6m is to be provided at the north-western corner of the podium along this edge to accommodate the Cafe Plaza.
- 14. A minimum secondary setback of 3.8m is to be provided for Building 1 (south) above the podium levels along this edge.
- 15. Minimum secondary setbacks of 4m and 14.5m as indicated on the building envelope plan (Figure 61) are to be provided for Building 2 (north) above the podium levels along this edge.

7.2.4 Built Form



Objectives

- A. To provide seamless, continuous and animated interfaces with the public domain.
- B. To provide depth in the external walls, interest at street level and highlighted entrances.
- C. To ensure residents can clearly recognise their home and assist in orienting them to the wider precinct.
- D. To ensure good acoustic amenity for residents along the building's eastern interface with Squires Way.

Guidelines

- 1. Modulation and articulation of built form is to be provided along High Street, the Pedestrian Spine, Shared Service Road and Road 1 to break down the scale at street level.
- 2. As a minimum, breaks in the podium are to be centrally located along the Pedestrian Spine and Road 1 to accommodate the Through Site Link. Refer to Section 5.4.6 for objectives and guidelines for the Through Site Link.

- 3. Building 1 (south) and Buidling 2 (north) above the podium are to be separated from each other a minimum of 19.5m to maximise solar access and views to the Green Heart, existing pond, escarpment and coast, while minimising overshadowing to the Green Heart.
- 4. Built form above the podium levels is to be emphasised through a change in architectural expression, material selection and design elements.
- 5. Buildings above podium are to comprise two clear and distinct forms capable of supporting dual aspect living units.
- 6. Buildings are to provide a minimum separation to follow ADG requirements. This includes performance outcomes for solar performance and cross ventilation.
- 7. Solar access to ILA units are to be consistent with ADG requirements (Objective 4A-1) and are to be achieved through primary windows, not skylights or clerestory windows.
- 8. Building façades are to be articulated into smaller elements or distinctive treatments, at a scale or grain that reflects:
  - a. different uses and/or components of the building.
  - b. the ILA entries and/or lobby; and
  - c. the ground floor, lower floors, top floor, and roof.
- 9. Buildings are to have distinct architectural expressions across the two ILA buildings to assist residents in orientation within the precinct.
- 10. Building entries are to be clearly visible, unobstructed, and easily identifiable from the street, other public areas and other development.
- 11. Mail boxes are to be perpendicular to the street and close to the primary building entrance.
- 12. Suitable acoustic treatment is to be provided to mitigate noise impacts from Squires Way, particularly along the eastern edges of the building.



7.2.5 Private Open Space



Objectives

- A. To provide ILA residents with private open spaces that have access to good amenity, including solar access and wind mitigation, that are directly accessible from their homes.
- B. To provide ground level ILA units with private gardens with good amenity that provide activation and passive surveillance to the surrounding streets and public domain.

Guidelines

1. Private gardens are to be provided for all ground floor ILA units.
2. Ensure that private gardens are directly accessible from the street and that parts of the private gardens are open to the sky.
3. Front fences to private gardens are to be designed to ensure passive surveillance of the surrounding streets and public domain.
4. Private open space may be provided above ground on the podium rooftops.
5. Private open spaces provided in the form of balconies are to meet the minimum depths and area requirements under the ADG (Objective 4E-1).
6. Any services located on balconies, such as clothes drying, storage or air conditioning units, are to be screened from view and are to be in addition to the minimum balcony size, consistent with ADG requirements (Objectives 4E-3 and Objective 4E-1).

7.2.6 Communal Open Space



Objectives

- A. To provide ILA residents with shared open spaces with good amenity to meet, gather and socialise.

Guidelines

1. Podium rooftops may be utilised as communal open space.
2. Communal open space is to be provided on the rooftop of Building 2 (north). It may be co-located with communal uses and/or the dedicated research/education space.
3. A minimum of 25% of the ILA (Stage 2) site area is to be provided as communal open space, consistent with ADG requirements (Objective 3D-1).
4. A minimum of 50% of the principal usable part of communal open spaces are to receive a minimum of 2 hours of direct sunlight between 9am and 3pm at mid-winter, consistent with ADG requirements (Objective 3D-1).
5. Communal open space is to be secured from the public realm and is be for the exclusive use of ILA residents and their guests only.
6. Communal open space is to include varied spaces that can cater to a range of activities. An accessible toilet is to be provided with the communal open space.

7.2.7 Deep Soil Zones



Objectives

- A. To provide sufficient deep soil to support healthy vegetation and tree growth that improve residential amenity and promote management of water and air quality.

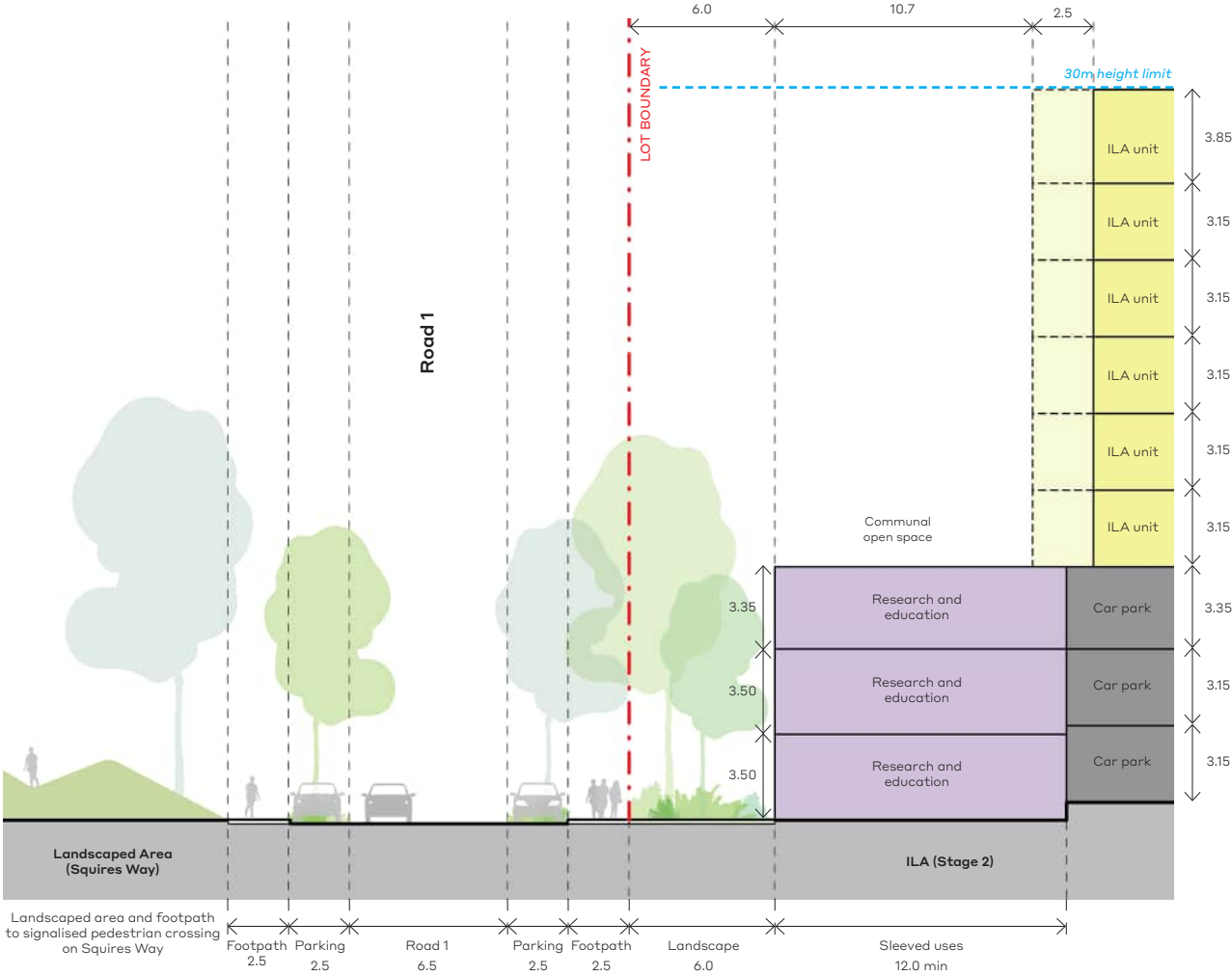
Guidelines

1. A minimum of 15% of the ILA (Stage 2) site area is to be provided as deep soil zone (with a minimum dimension of 6m), consistent with ADG requirements (Objective 3E-1).
2. Deep soil zones:
  - a. Are to be provided along the Pedestrian Spine as part of the landscape buffer and the Cafe Plaza.
  - b. Are to be provided along Road 1 as part of the landscape buffer.
  - c. Are to be provided along parts of the Through Site Link in between the Pedestrian Spine and Road 1.
  - d. May be provided along the Shared Service Road should the built form articulation of the podium allow for it; and
  - e. Are not to be provided along High Street where ILA private gardens are to be located.



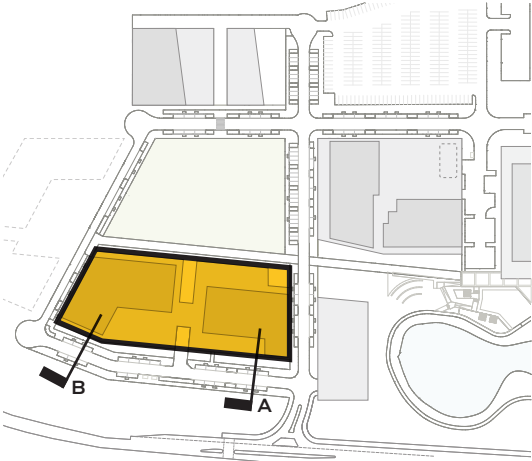
Section A

Squires Way - Road 1 - ILA (Stage 2)



63 ILA (Stage 2) - Section A

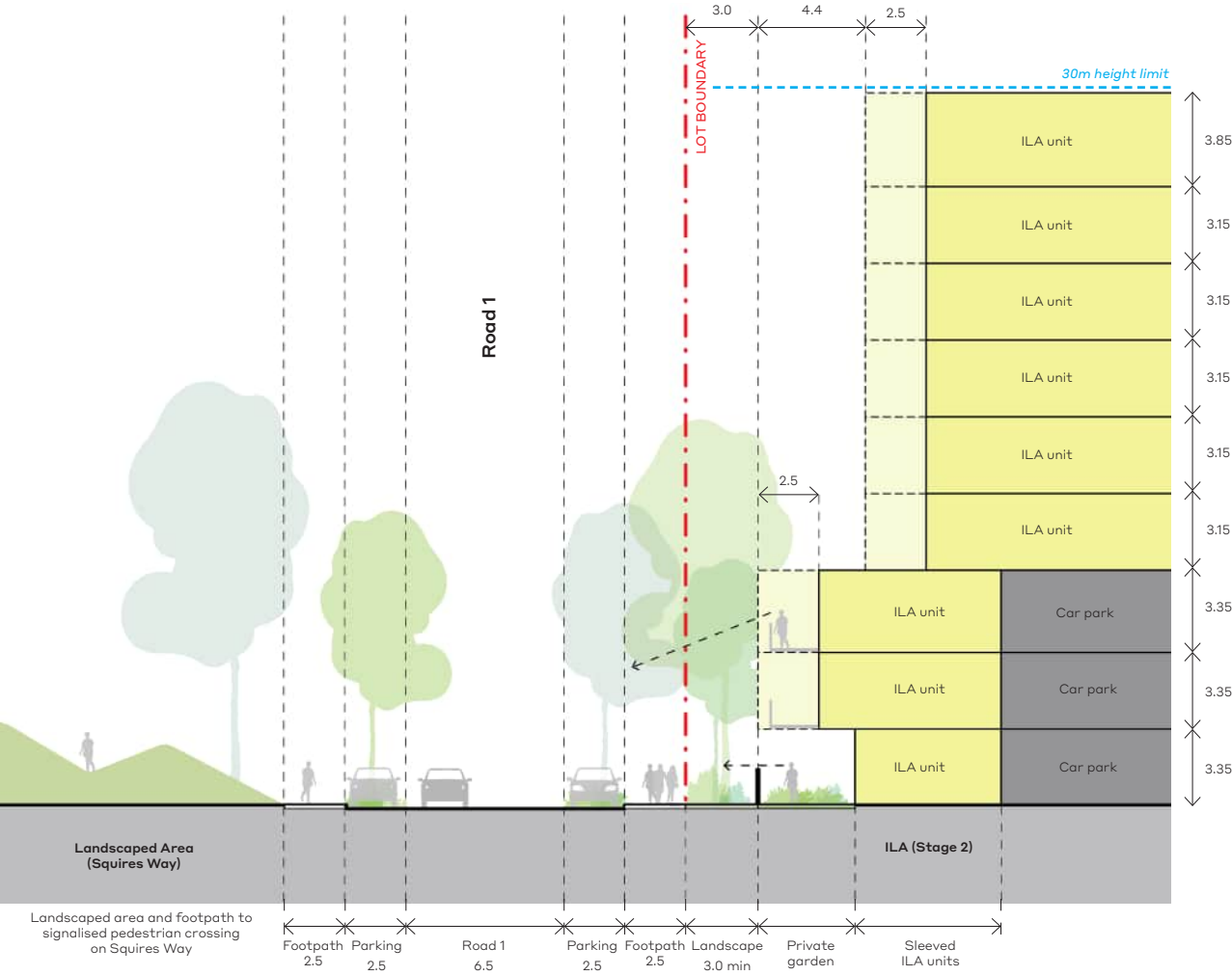
SCALE 1:300 @ A3



65 Location map

Section B

Squires Way - Road 1 - ILA (Stage 2)



64 ILA (Stage 2) - Section B

SCALE 1:300 @ A3

LEGEND

- Lot boundary
- ILA unit
- ILA articulation zones
- Research and education
- Car park

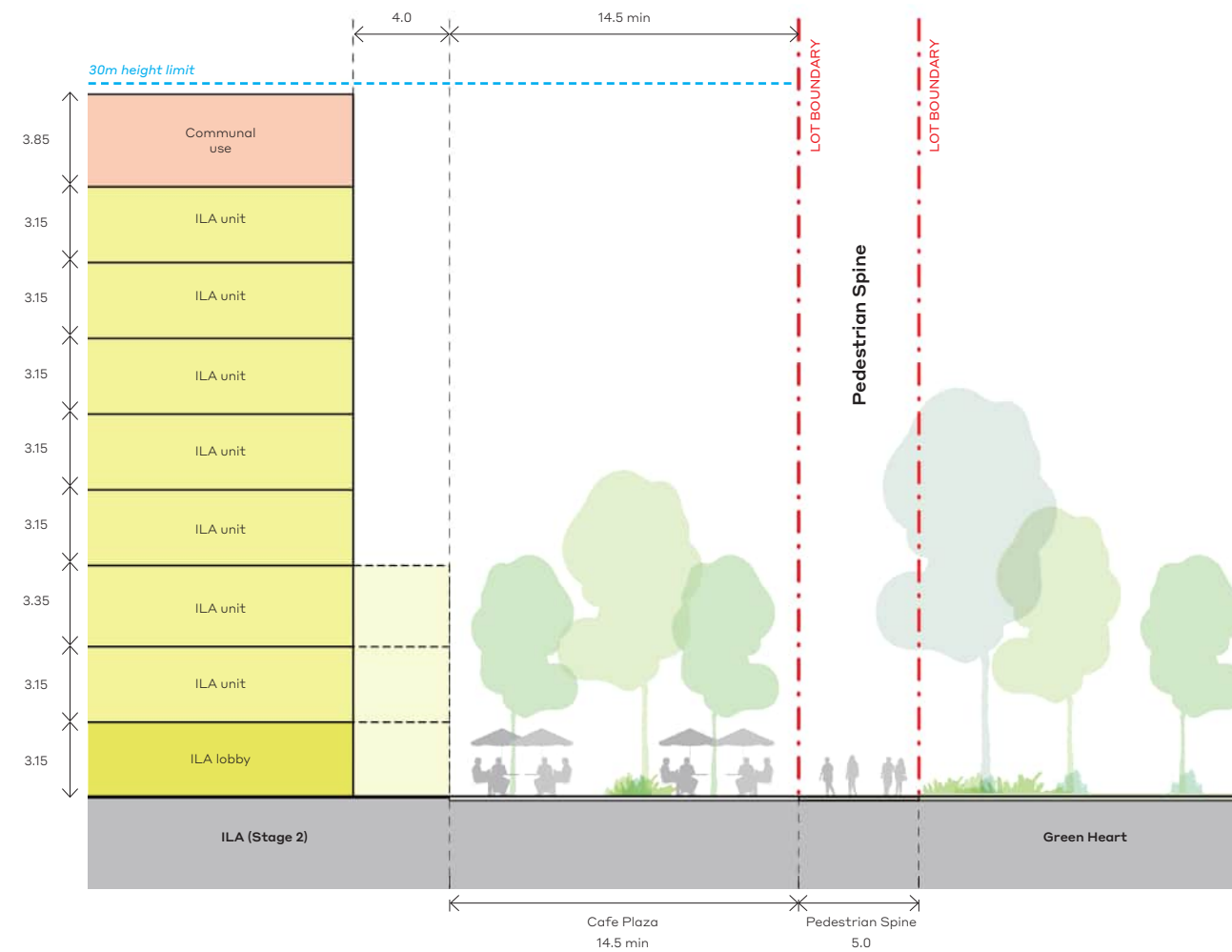
Note:

The articulation zones shown above sit within the overall building envelope (see Figure 61) and are not representative of the building line. Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.



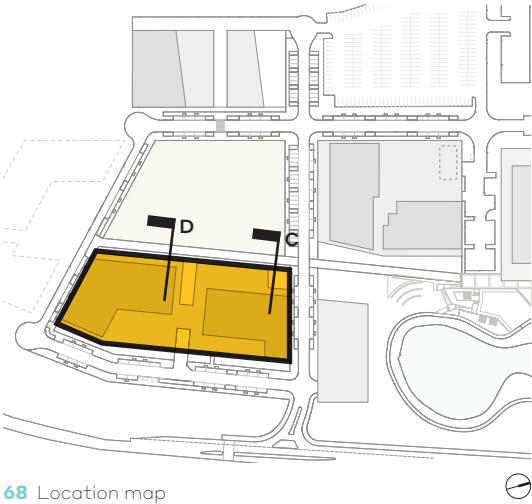
Section C

ILA (Stage 2) - Cafe Plaza - Pedestrian Spine - Green Heart



67 ILA (Stage 2) - Section C

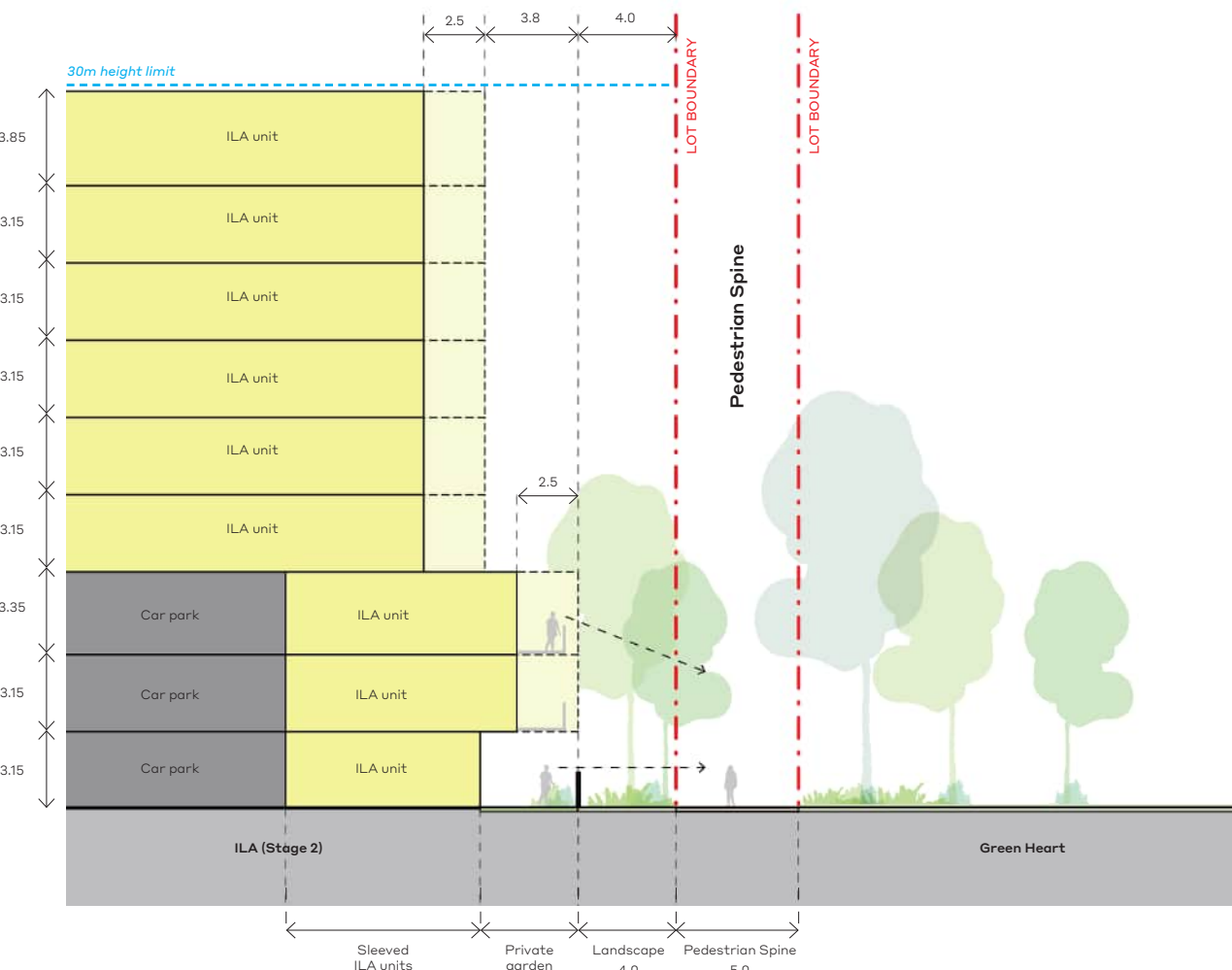
SCALE 1:300 @ A3



68 Location map

Section D

ILA (Stage 2) - Pedestrian Spine - Green Heart



66 ILA (Stage 2) - Section D

SCALE 1:300 @ A3

LEGEND

- Lot boundary
- ILA unit
- ILA lobby
- ILA articulation zones
- Communal / community use
- Car park

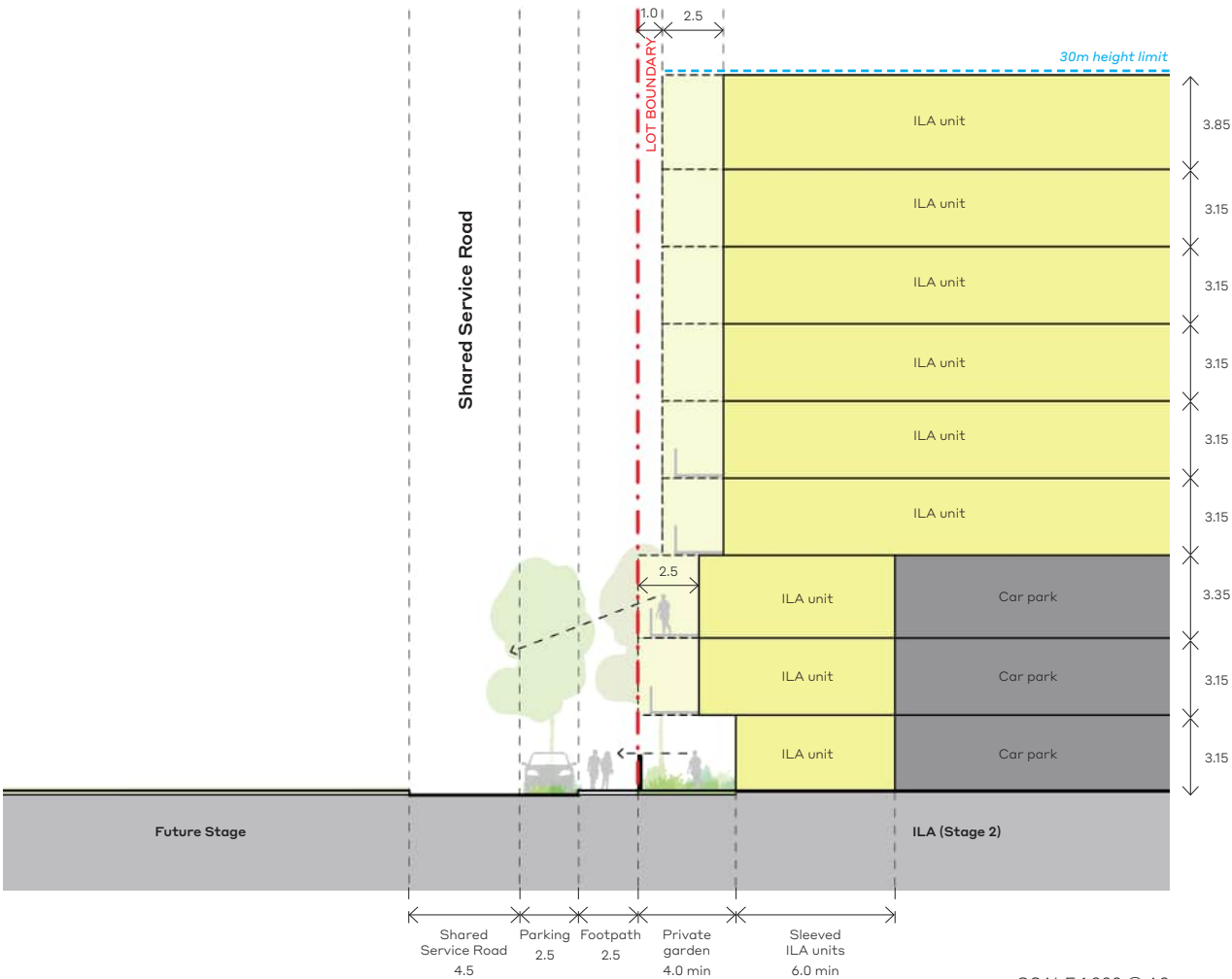
Note:

The articulation zones shown above sit within the overall building envelope (see Figure 61) and are not representative of the building line. Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.

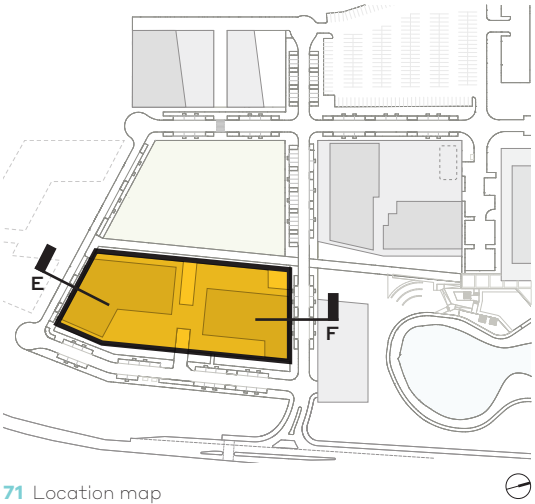


Section E

Future Stage - Shared Service Road - ILA (Stage 2)



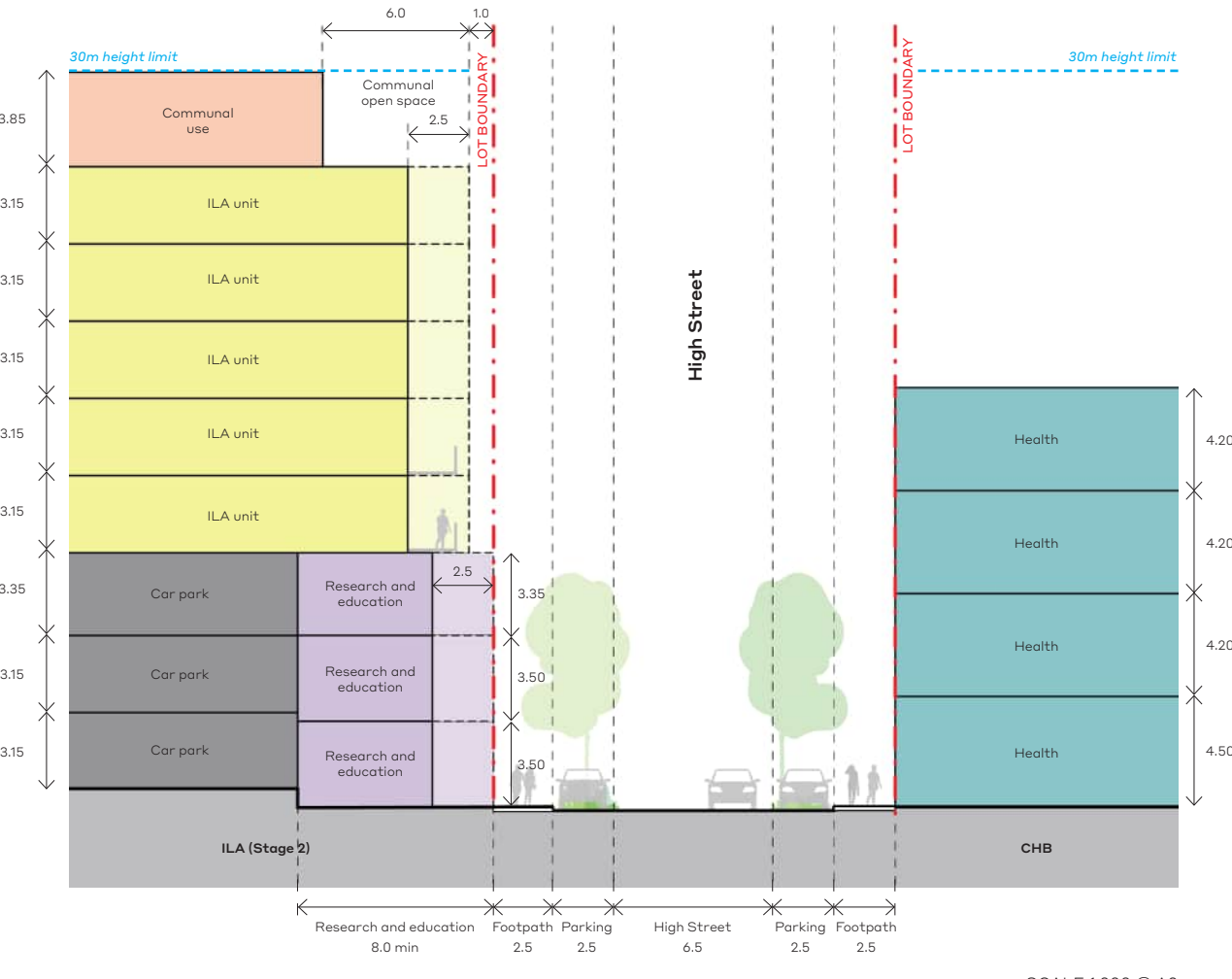
69 ILA (Stage 2) - Section E



71 Location map

Section F

ILA (Stage 2) - High Street- CHB



70 ILA (Stage 2) - Section F

- LEGEND
- Lot boundary
  - ILA unit
  - ILA articulation zones
  - Communal / community use
  - Research and education
  - Research and education articulation zones
  - Health use
  - Car park

**Note:**  
The articulation zones shown above sit within the overall building envelope (see Figure 61) and are not representative of the building line.  
Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.



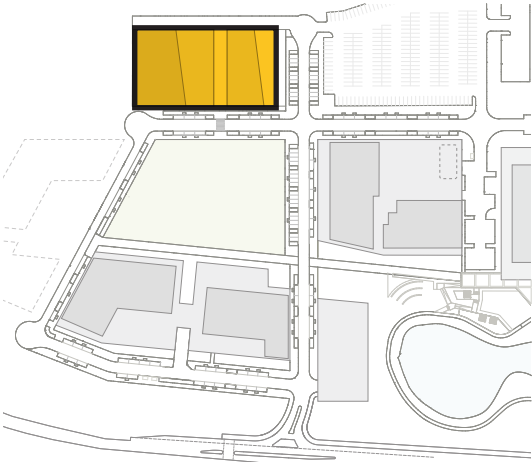
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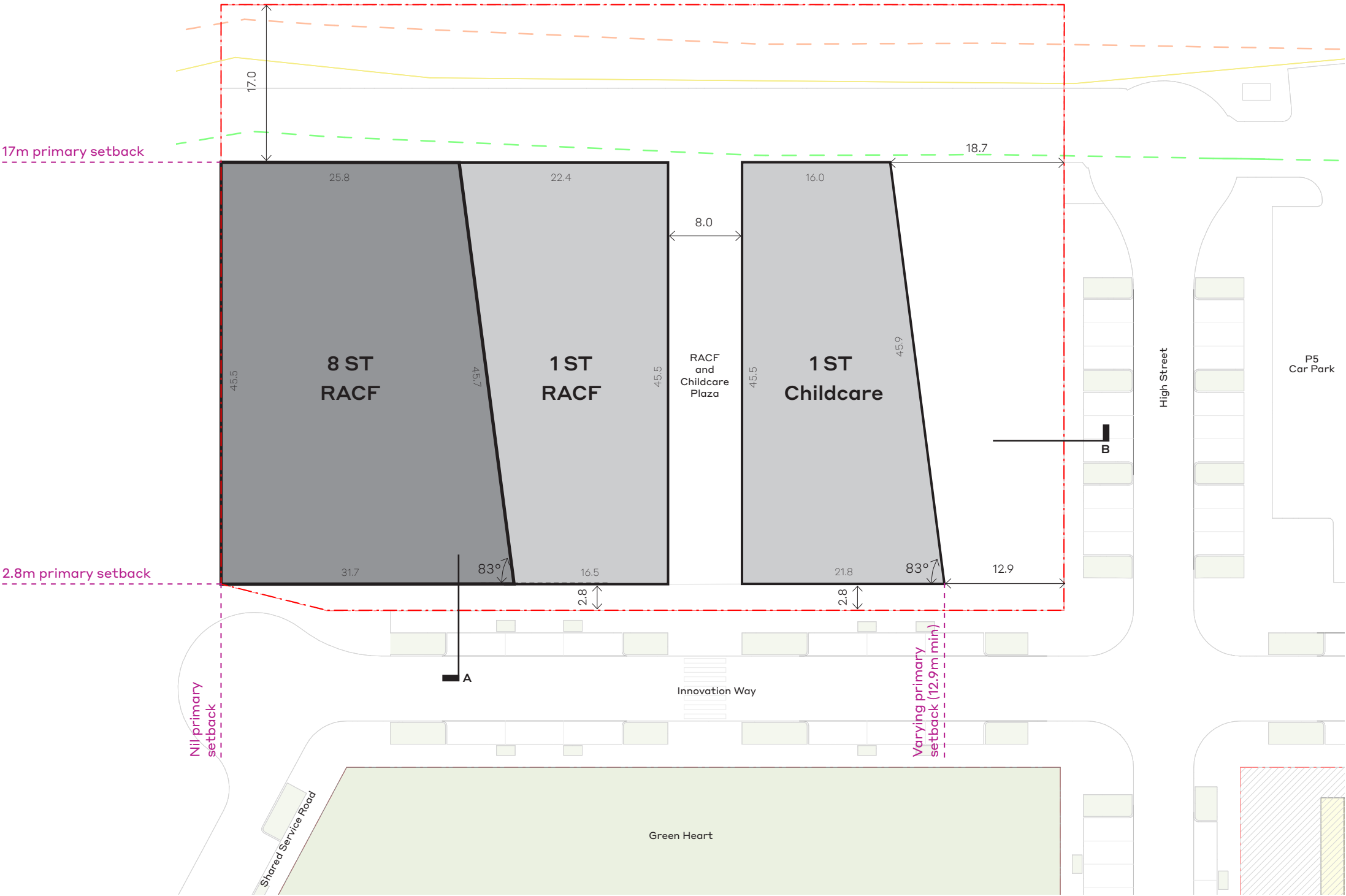
Building Envelope Plan  
(RACF and Childcare)

- LEGEND
- Lot boundary
  - Building envelope
  - Primary setbacks
  - APZ line (SFPP - 23m - fire short run)
  - Riparian 30m setback
  - APZ line (commercial)

**Note:**  
The building envelopes shown on the right are inclusive of articulation zones and are not representative of the building line.  
Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.



72 Location map



73 RACF and Childcare - Building envelope plan  
Source: PTW & Ethos Urban

SCALE 1:500 @ A3

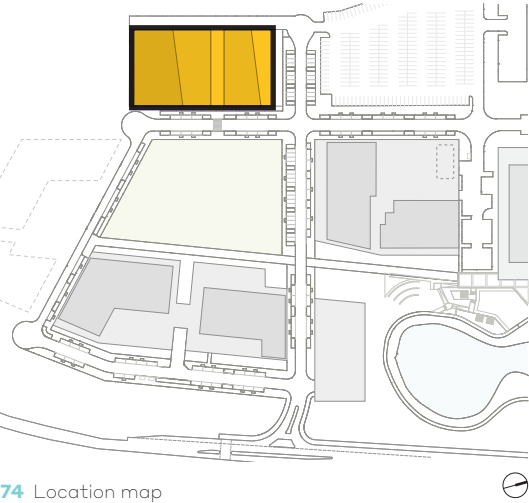
# 7.3 RACF and Childcare

## Overview:

The RACF and Childcare will be a building up to eight storeys in height, located in the south-western corner of the H&WP on Innovation Way with views to both the escarpment and an address to the Green Heart.

The configuration of the RACF and Childcare are conceived as two portions of one building that will enable both to function independently. The uses are separated by the RACF and Childcare Plaza which is located mid-block running perpendicular to Innovation Way.

Spaces within the building will be provided to facilitate University-led research, teaching and/or learning projects, consistent with the H&WP Management Plan, for UOW to use in collaboration with the building's residents, visitors and staff.



74 Location map

## 7.3.1 Land Use



### Objectives

- A. To create a living and learning environment that can support co-location of the youngest users with the oldest residents in the same building to promote intergenerational living and life-long learning within the H&WP.
- B. To provide on-going assisted care for older people who can no longer live at home.
- C. To support UOW staff and students, health professionals and potential families from the surrounding areas with childcare facilities.
- D. To support University-led projects for the purposes of health and wellbeing research, teaching and/or learning activities.

### Guidelines

- 1. The following uses are to be provided on the ground floor:
  - a. RACF front of house uses
  - b. Childcare centre
  - c. Childcare outdoor play space
  - d. Small scale retail use (cafe with a minimum area of 35 sqm)
  - e. Dedicated research/education spaces (preferred location)
  - f. Undercover porte cochere (including an ambulance bay)
  - g. Parking (service vehicles only)
  - h. Loading dock
  - i. Service areas
- 2. The following use is to be provided above the ground floor:
  - a. RACF rooms
  - b. RACF dementia garden
  - c. RACF dining/lounge areas
  - d. Dedicated research and education spaces (alternative location if not provided on the ground floor)
- 3. Above ground parking (service vehicles only) is permitted within the building and at the rear of the building but must not encroach upon the riparian corridor setback (Riparian 30m setback) as shown in Figures 4 and 73.

- 4. A minimum 70% of all ground floor frontages along Innovation Way must be active uses that may comprise of the Childcare, front of house uses, a cafe and/or communal uses to activate this street edge, with visual connections towards the Green Heart.
- 5. Visual privacy consistent with childcare regulations should be provided while maintaining activation of the street edges.
- 6. Final position of the Childcare will be informed by the operational model and may not be located on Innovation Way.

## 7.3.2 Building Heights



### Objectives

- A. To ensure that buildings are compatible with the character of streets and the precinct as a whole.
- B. To ensure that view lines to Djeera (Mt Keira) and the wider escarpment from the Green Heart and the wider are preserved (see View Impact Assessment).
- C. To ensure that buildings are designed to an appropriate height to protect solar access to the Green Heart.
- D. To mitigate flooding of the RACF and Childcare uses at ground level.

### Guidelines

- 1. Total building height, including lift overruns and rooftop plant areas, must not exceed 8 storeys (30m).
- 2. The northern portion of the building that includes part RACF and the Childcare as indicated in the building envelope plan (Figure 73) shall not exceed 1 storey in height (5m).
- 3. Non-residential floor-to-floor heights should be a minimum 4m to promote flexibility of use.
- 4. Floor-to-ceiling heights of habitable spaces are to be a minimum of 2.7m.
- 5. RACF and Childcare uses on the ground floor are to have a 500mm freeboard above the PMF level.



7.3.3 Setbacks



Objectives

- A. To ensure that the building is designed to an appropriate scale with sufficient building separation to protect solar access to the Green Heart.
- B. To clearly distinguish between public and private domains, particularly for the interface to Innovation Way.
- C. To ensure that view lines to Djeera (Mt Keira) and the wider escarpment from the Green Heart and the wider are preserved (see View Impact Assessment).
- D. To be consistent with existing landscaped setbacks provided for Innovation Campus buildings at the northern end of Innovation Way.
- E. To ensure that the building complies with bushfire requirements.

Guidelines

Refer to the building envelope plan shown in Figure 73.

Northern Edge - High Street (see Section B)

- 1. An averaged setback between 12.9m and 18.7m from the lot boundary is to be provided for the building along High Street to provide a landscape buffer between the building and the P5 car park to ensure view corridors to Djeera (Mt Keira) from the public domain (outside of the site) are maintained, as well as to accommodate an outdoor play area for the Childcare.

Southern Edge

- 2. Nil setback is to be provided along this edge.

Eastern Edge - Innovation Way (see Section A)

- 3. A minimum primary setback of 2.8m is to be provided for the building along Innovation Way to accommodate areas for landscaping along this edge.

Western Edge

- 4. A minimum primary setback of 17m is to be provided for the building along this edge to ensure that it does not extend beyond the APZ line (SFPP - 23m - fire short run) as shown in Figures 4 and 73 and to accommodate vehicular access off High Street to the undercover porte cochere.

7.3.4 Built Form



Objectives

- A. To provide seamless, continuous and animated interfaces with the public domain.
- B. To provide depth in the external walls, interest at street level and highlighted entrances.
- C. To ensure residents can clearly recognise their home and assist in orienting them to the wider precinct.
- D. To ensure that the building complies with bushfire requirements.

Guidelines

- 1. Breaks or modulations in the building envelope are to be provided along Innovation Way to encourage visual interest and to avoid having a single continuous building surface along Innovation Way.
- 2. The building is to be oriented to maximise solar access and views to surrounding landscape elements, including the Green Heart and the escarpment.
- 3. Light wells and/or landscaped courtyards are encouraged to enable daylight penetration to the ground floor where possible.
- 4. The design and internal layout of the building, including the location of the Childcare in relation to the RACF, will be informed by the operation model and will need to meet specific operational requirements and the relevant standards.
- 5. Building façades are to be articulated into smaller elements or distinctive treatments, at a scale or grain that reflects:
  - a. different uses and/or components of the building.
  - b. the RACF and Childcare entries and/or lobby; and
  - c. the ground floor, lower floors, top floor, and roof.
- 6. The building is to have a distinct architectural expression from other buildings in the H&WP, in particular the two ILA typologies, to ensure residents can clearly recognise their home and assist in orienting them to the wider precinct.
- 7. Building entries are to be clearly visible, unobstructed, and easily identifiable from the street, the P5 car park, other public areas and other development.

- 8. The building must comply with clauses in the National Construction Code 2022 relevant to childcare facilities in bushfire affected areas.
- 9. Suitable access to reticulated water for fire suppression, in accordance with Planning for Bushfire Protection 2019, is to be provided to the south of the building. Fire truck access to this reticulated water source is to be provided off the western end of the Shared Service Road.

7.3.5 Private Open Space

Not applicable.

7.3.6 Communal Open Space (RACF)



Objectives

- A. To provide RACF residents and visitors with safe and accessible shared open spaces with good amenity to meet, gather and socialise.

Guidelines

- 1. Podium rooftops may be utilised as communal open space.
- 2. Landscaped communal open space on the podium roof fronting Innovation Way is encouraged to provide a visual connection towards the Green Heart.
- 3. A minimum **landscaped area\*** of 15sqm per bed is to be provided for the RACF.
- 4. A minimum combined internal and external communal open space area of 10sqm per bed is to be provided for the RACF.

\*Housing SEPP definition:

**Landscaped area** means the part of the site area not occupied by a building and includes a part used or intended to be used for a rainwater tank, swimming pool or open-air recreation facility, but does not include a part used or intended to be used for a driveway or parking area.

7.3.7 Deep Soil Zones



Objectives

- A. To provide sufficient deep soil to support healthy vegetation and tree growth that improve residential amenity and promote management of water and air quality.

Guidelines

- 1. A minimum of 15% of the RACF and Childcare site area is to be provided as **deep soil zones\*** (with a minimum dimension of 3m).
- 2. Deep soil zones:
  - a. Are to be provided along Innovation Way and High Street as part of the landscape buffers;
  - b. May be provided to the west or south of the building and along the through site link in between Innovation Way and the western edge of the building, as part of the associated landscaped areas (to be informed by the operational model).

\*Housing SEPP definition:

**Deep soil zone** means a landscaped area with no buildings or structures above or below the ground.

7.3.8 Outdoor Play Space (Childcare)



Objectives

- A. To provide secure accessible outdoor play spaces that have access to good amenity, including shade and wind mitigation, that are directly accessible from the internal play spaces of the Childcare.
- B. To ensure that the outdoor play spaces do not have a detrimental acoustic impact on the RACF residents.

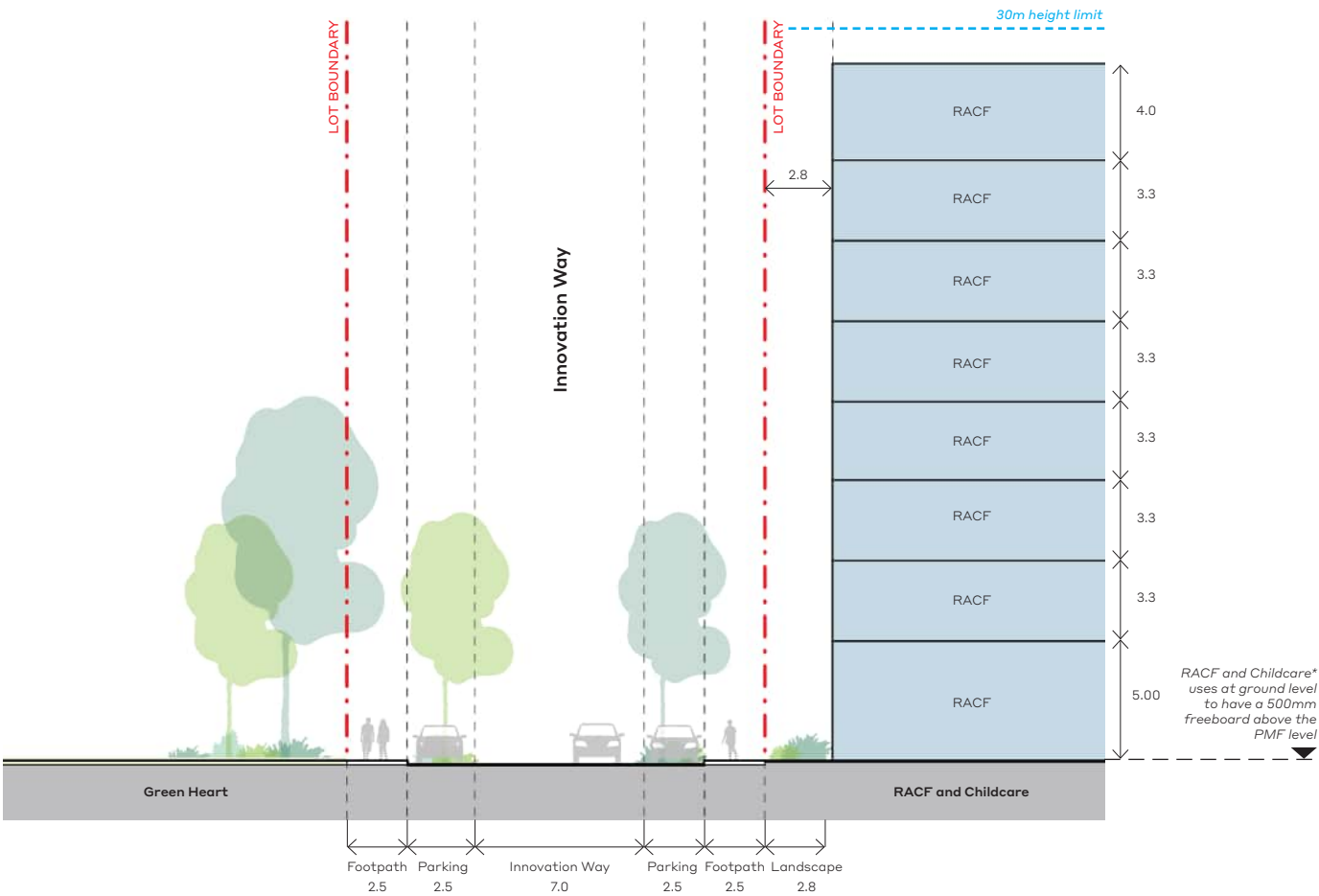
Guidelines

- 1. Minimum area of outdoor play space provided, which will be dependent on the final number of children, must be in accordance with the relevant legislative requirements and standards.
- 2. Outdoor play spaces are to be located to ensure high level of access from internal play spaces.
- 3. Screening and sun shading are to be provided in accordance with the relevant legislative requirements and standards.
- 4. The fence between the outdoor play space and adjoining spaces or public domain is to be designed to meet the relevant standards and provide a level of permeability where allowable. This will be dependent on the location of the Childcare and the outdoor play space (to be informed by the operational model).
- 5. Noise mitigation strategies are to be provided to prevent mitigate noise impacts from the Childcare and its outdoor play space on the RACF residents in both the internal and external spaces of the RACF.



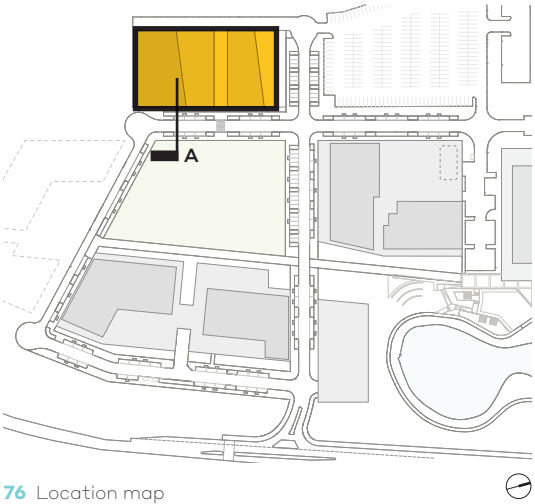
Section A

Green Heart - Innovation Way - RACF and Childcare



75 RACF and Childcare - Section A

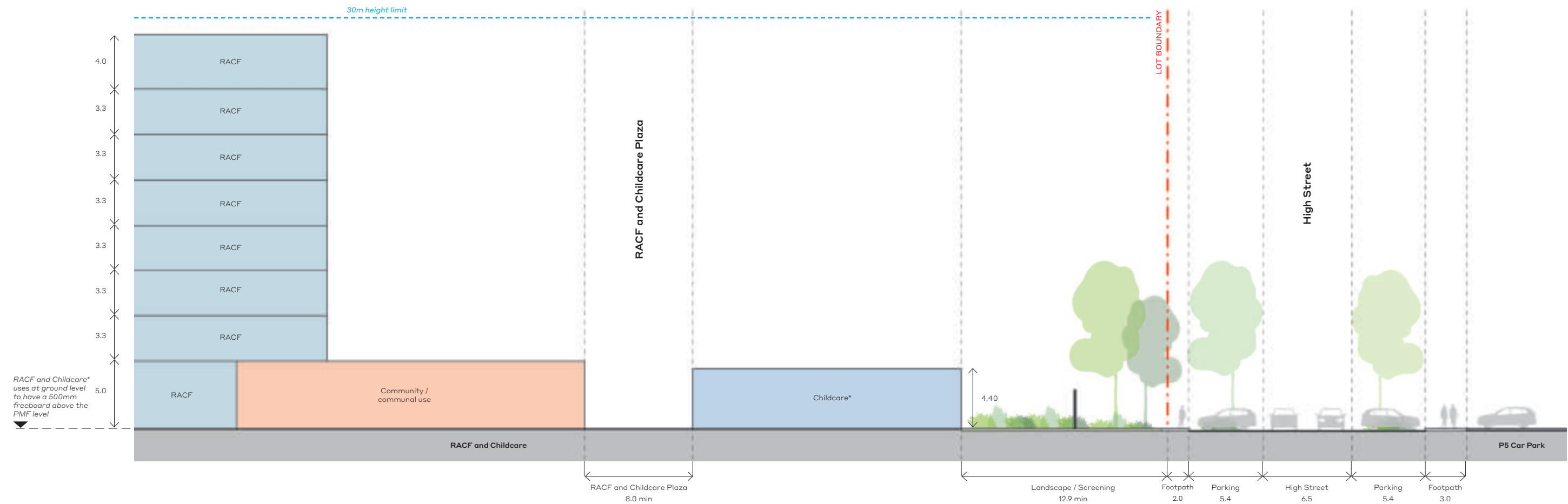
SCALE 1:300 @ A3



76 Location map

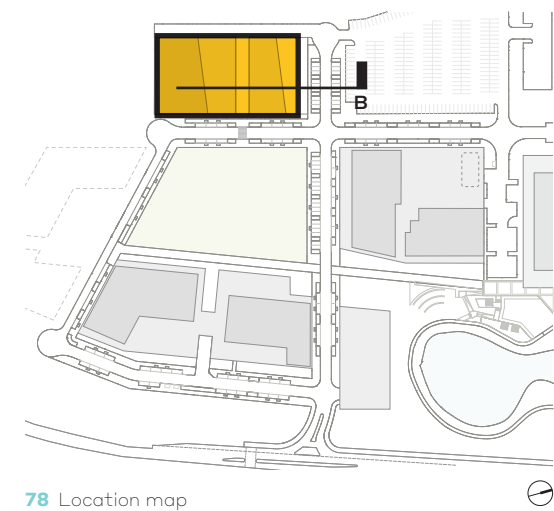
Section B

RACF and Childcare - High Street - P5 Car Park



77 RACF and Childcare - Section B

SCALE 1:300 @ A3



LEGEND

- Lot boundary
- RACF
- Childcare
- Communal / community use

*\*Location of the Childcare will be informed by the operation model and will need to meet specific operational requirements and the relevant standards.*

78 Location map

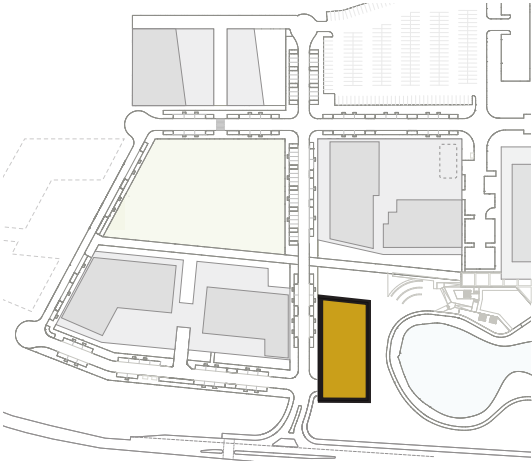


**Note:**  
The CHB will be subject to a separate future SSDA.

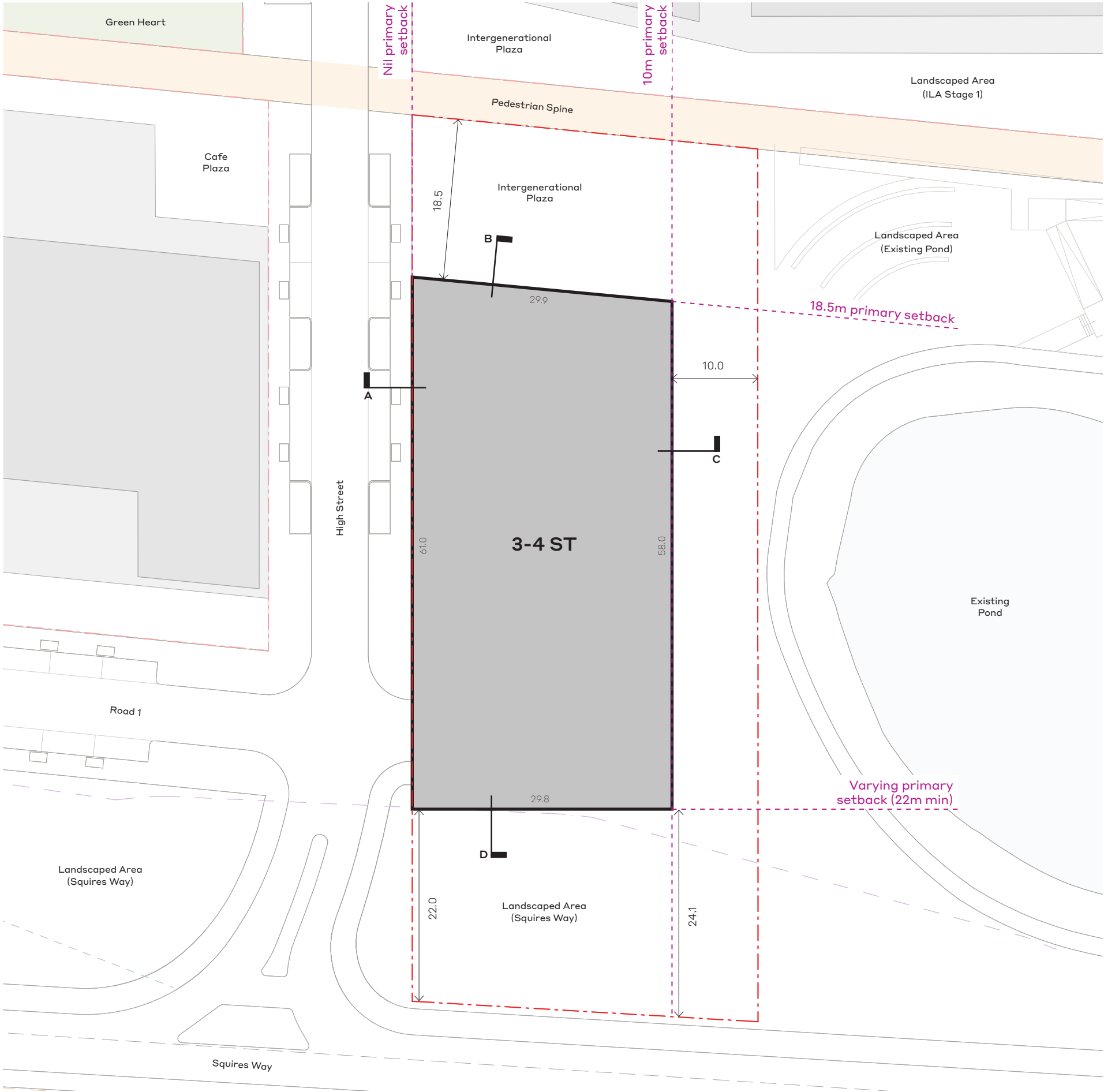
**Building Envelope Plan (CHB)**

- LEGEND
- Lot boundary
  - Building envelope
  - Primary setbacks
  - APZ line (SFPP - fuel load sampling)

**Note:**  
The building envelope shown on the right is inclusive of articulation zones and are not representative of the building line.



79 Location map



80 CHB - Building envelope plan  
Source: \Ethos Urban

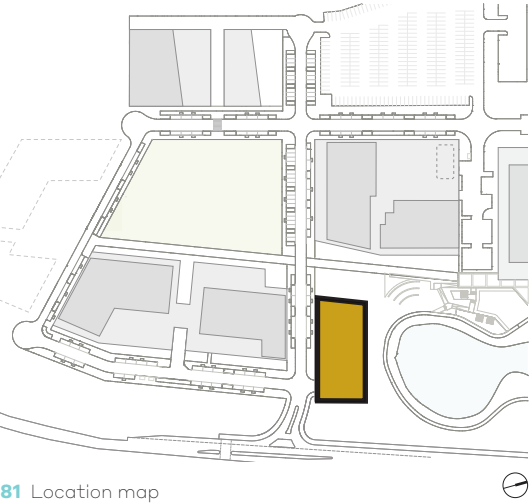
SCALE 1:500 @ A3

**Note:**  
The CHB will be subject to a separate future SSDA.

## 7.4 Community Health Building (CHB)

### Overview:

The CHB will be a three to four storey building located at the corner of the Pedestrian Spine and High Street. As a key learning and health facility focused on community health initiatives, the building will be used extensively by UOW staff and students, health professionals, residents and visitors, be a focal point for both the Pedestrian Spine and High Street and be seen as an iconic building at the entry point of the H&WP.



### 7.4.1 Land Use



#### Objectives

- A. To provide a range of specialist health and teaching uses to support the residents, students, staff and visitors of the H&WP.

#### Guidelines

1. The following uses are to be provided on the ground floor:
  - a. Health and teaching uses, including allied health uses
  - b. Parking
  - c. Service areas
2. The following uses are to be provided above the ground floor:
  - a. Health and teaching uses, including allied health uses
3. Parking is not to be located at-grade facing Squires Way and is to be provided within the building envelope and sleeved or screened in accordance with Section 8.0.
4. Above ground parking is not permitted within the building lot.
5. Above ground service areas are permitted within the eastern portion of the building, but a minimum 70% of all ground floor frontages along the Pedestrian Spine, and a minimum 50% of all ground floor frontages along High Street and the existing pond must contain health and teaching uses.

### 7.4.2 Building Heights



#### Objectives

- A. To ensure that buildings are compatible with the character of streets and the precinct as a whole.

#### Guidelines

1. Total building height, including lift overruns and rooftop plant areas, must not exceed 30m.
2. Street wall heights along the Pedestrian Spine and High Street are to be 3-4 storeys (up to 20m) in accordance with the built form heights plan shown in Figure 43.
3. Floor-to-floor heights should be a minimum 4m to promote flexibility of use.



7.4.3 Setbacks



Objectives

- A. To ensure that buildings are designed to an appropriate scale with sufficient building separation to protect solar access to the Green Heart, ILA (Stage 1) and ILA (Stage 2).
- B. To accommodate clear sight lines between the Green Heart, Pedestrian Spine and the existing pond.
- C. To clearly distinguish between public and private domains, particularly for the interface to the Pedestrian Spine.

Guidelines

Northern Edge - Existing pond (see Section C)

- 1. A minimum primary setback of 10m is to be provided for the building along this edge to accommodate landscaped areas that respond to the level change down to the existing pond.

Southern Edge - High Street (see Section A)

- 2. A zero primary setback is to be provided for the building along this edge to align with the southern edge of ILA (Stage 1) and to provide activation along High Street.

Western Edge - Pedestrian Spine (see Section B)

- 3. A setback of 18.5m is to be provided for the building along this edge to respond to the angle of the Pedestrian Spine and to accommodate the Intergenerational Plaza.
- 4. The edge of the building is to align with the western most point of the existing pond and the western edge of ILA (Stage 1) to frame the edges of the Intergenerational Plaza and Cafe Plaza and to open up sight lines between the Green Heart, Pedestrian Spine and the existing pond.

Eastern Edge - Squires Way (see Section D)

- 5. A varying primary setback (minimum 22m) is to be provided for the building along this edge to Squires Way to allow for a landscape buffer in the form of the Landscaped Area (Squires Way).
- 6. The building is not to extend beyond the APZ line (SFPP - fuel load sampling) to the east (refer to Figure 4 for location of the APZ line).

7.4.4 Built Form



Objectives

- A. To provide seamless, continuous and animated interfaces with the public domain.
- B. To provide depth in the external walls, interest at street level and highlighted entrances.
- C. To differentiate the CHB from the other retirement living building typologies in the H&WP and to be seen as an iconic building when viewed from Squires Way and from around the H&WP and wider Innovation Campus.
- D. To maximise its northerly aspect and provide visual connections down to the existing pond.

Guidelines

- 1. The building is to be designed to be considered as a 'building in the round'.
- 2. Architectural expression of the building should take cues from the existing campus buildings to the north and act as a link between their expression and that of the proposed ILA, RACF and Childcare buildings in the H&WP.
- 3. Breaks or modulations in the building envelope are to be provided along High Street to encourage visual interest and to avoid having a single continuous building surface along High Street.
- 4. Architectural form and expression of the western edge of the building are to be co-ordinated with the design of the Intergenerational Plaza, Pedestrian Spine and the Intergenerational Hub in ILA (Stage 1).
- 5. Architectural form and expression of the eastern edge of the building are to be designed in such a way to ensure that the CHB presents well to Squires Way and is seen as an iconic building at the entry point of the H&WP.
- 6. A covered, light-filled pedestrian walkway that overlooks the existing pond is to be provided along the northern edge of the building (see Section C).
- 7. The building is to be designed to respond to the location of the proposed amphitheatre and connection node linking the Pedestrian Spine and existing pond to the north.
- 8. Building entries are to be clearly visible, unobstructed, and easily identifiable from the street, other public areas and other development.

7.4.5 Private Open Space

Not applicable.

7.4.6 Communal Open Space

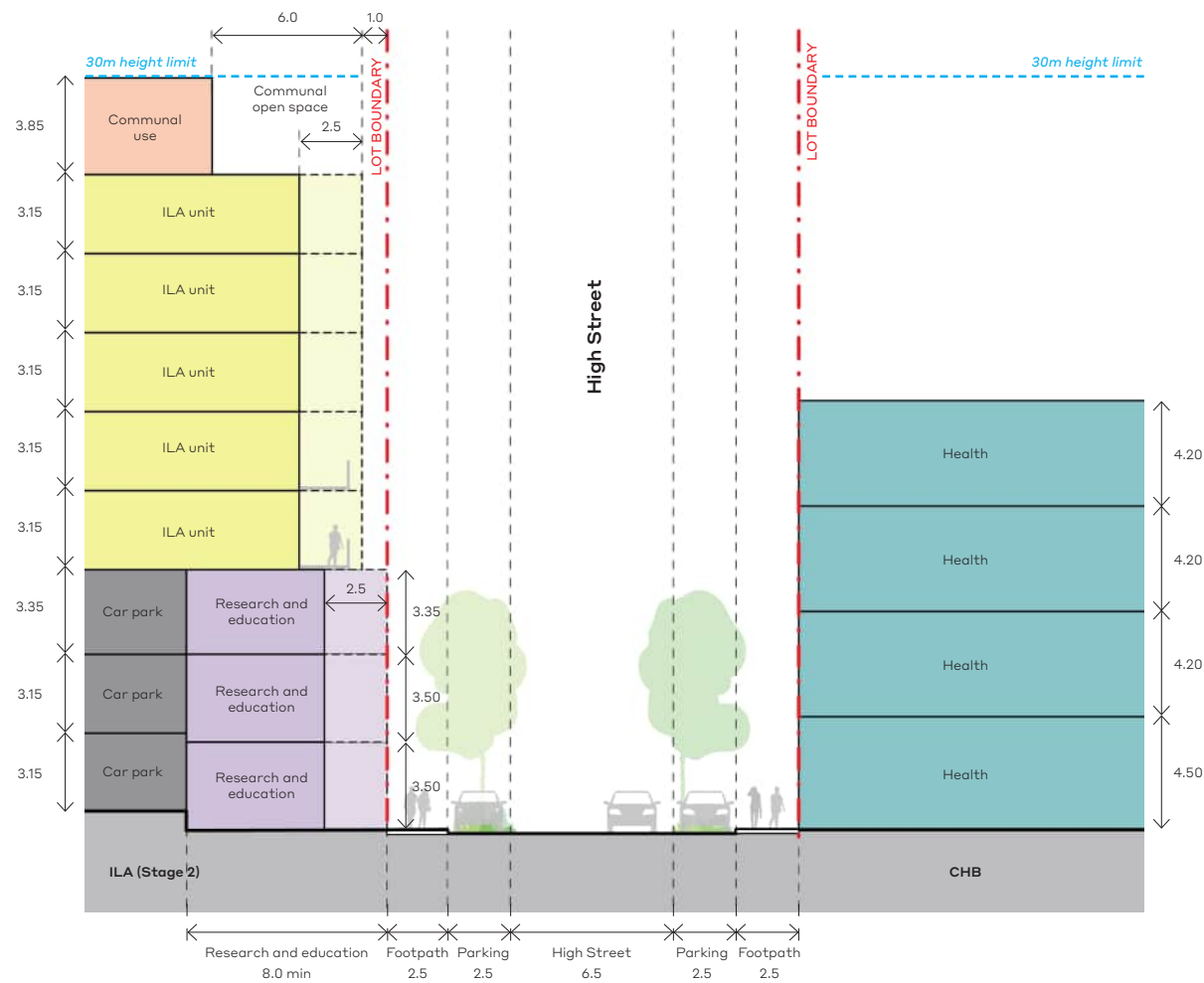
Not applicable.

7.4.7 Deep Soil Zones

Not applicable.

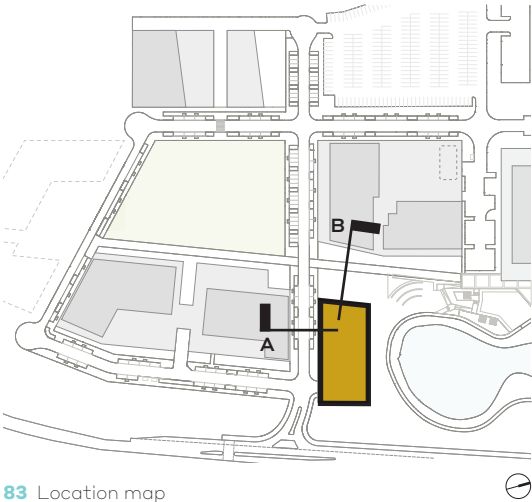
Section A

ILA (Stage 2) - High Street- CHB



82 CHB - Section A

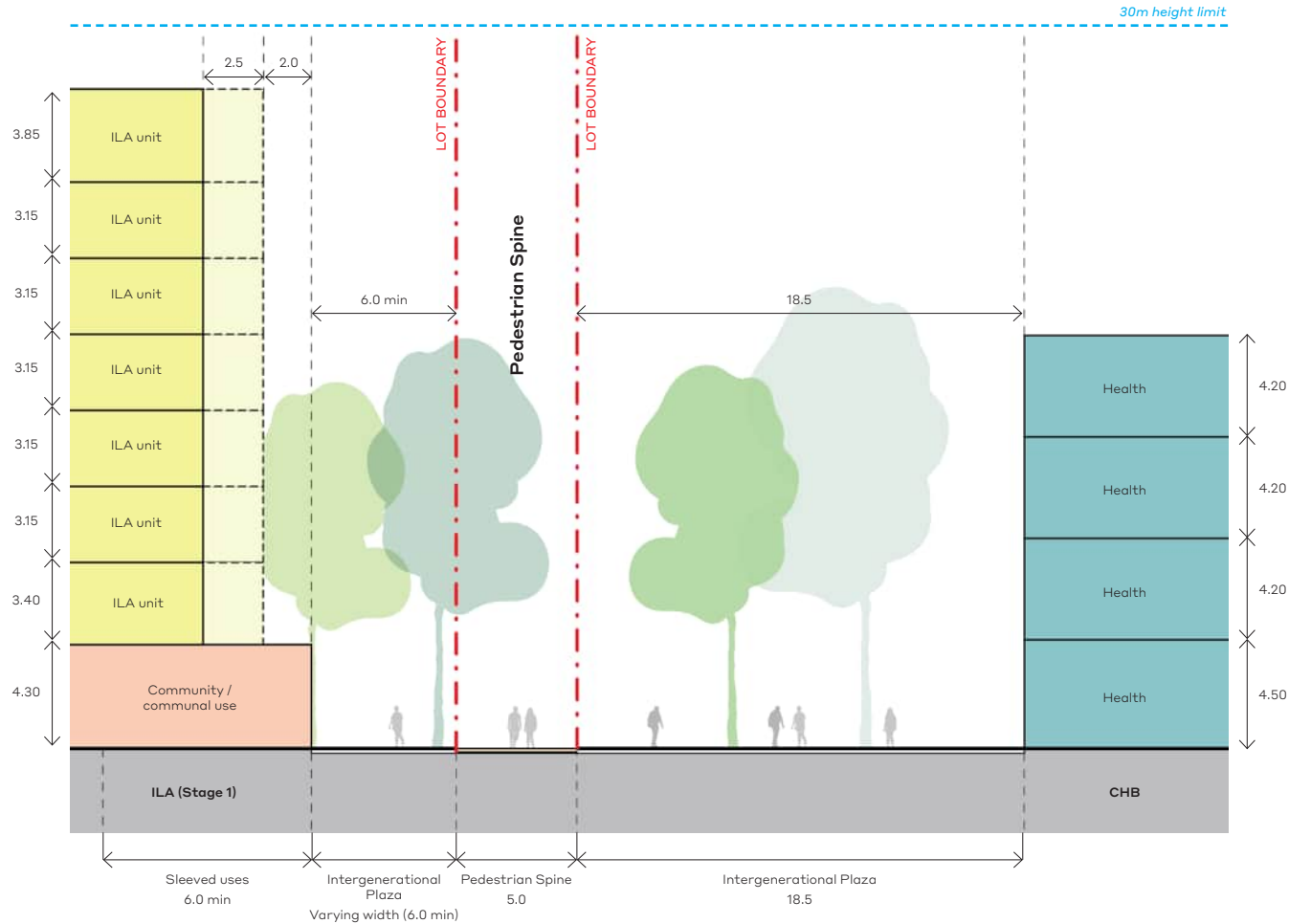
SCALE 1:300 @ A3



83 Location map

Section B

ILA (Stage 1) - Pedestrian Spine / Intergenerational Plaza - CHB



84 CHB - Section B

SCALE 1:300 @ A3

LEGEND

- Lot boundary
- ILA unit
- ILA articulation zones
- Communal / community use
- Research and education
- Research and education articulation zones
- Health use
- Car park

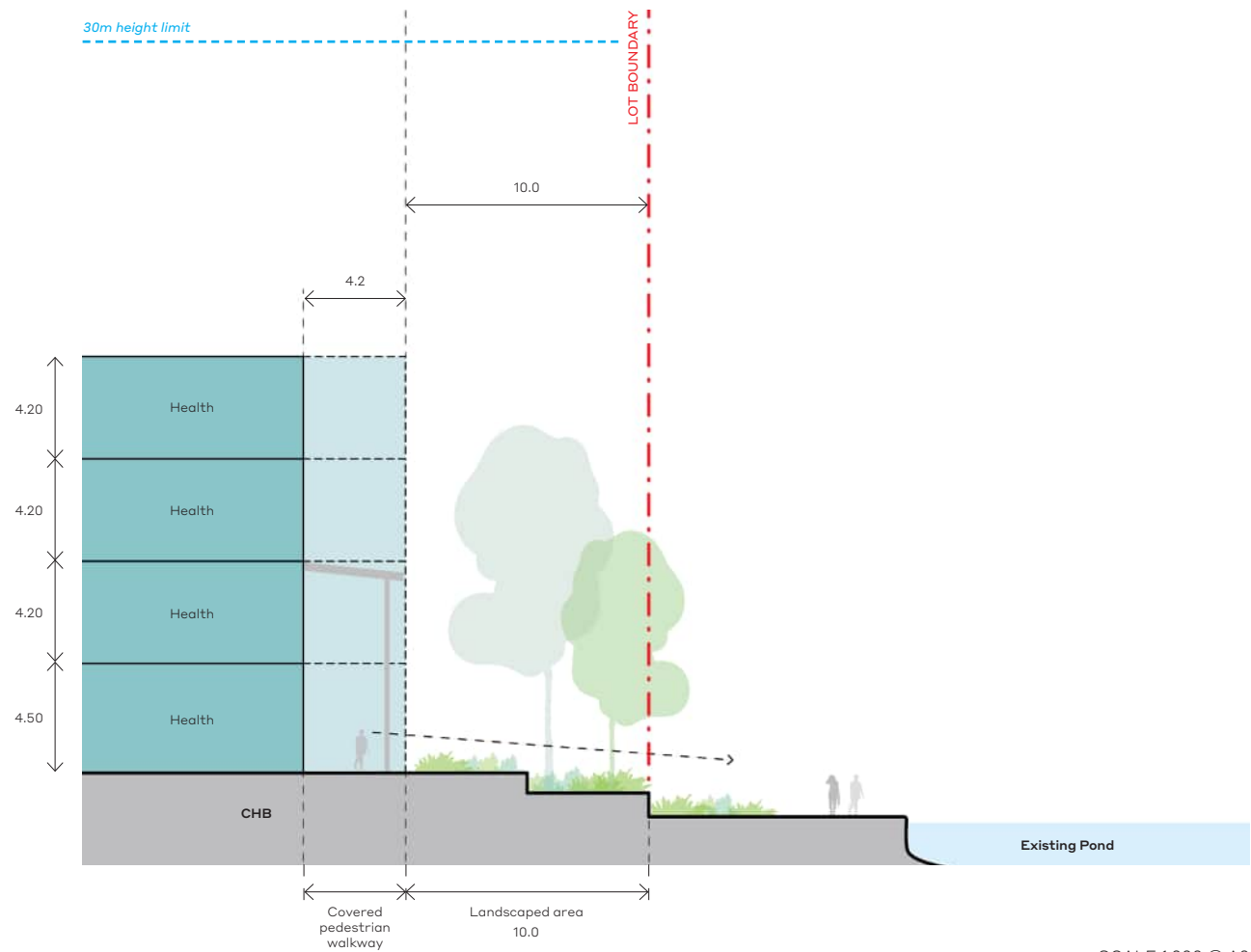
Note:

The articulation zones shown above sit within the overall building envelope (see Figure 80) and are not representative of the building line. Refer to Section 6.4 for objectives and guidelines on built form articulation and volumetric envelope utilisation.

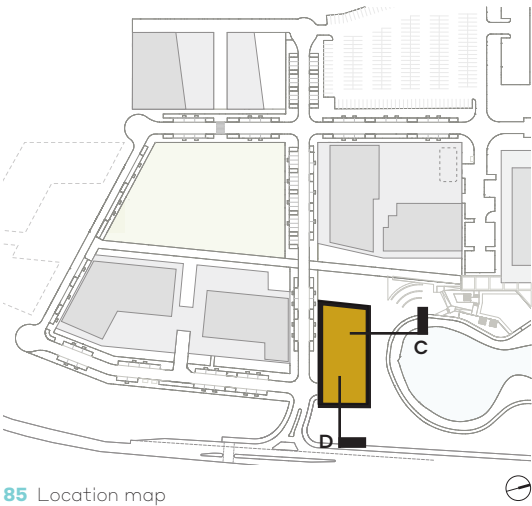


Section C

CHB - Existing Pond



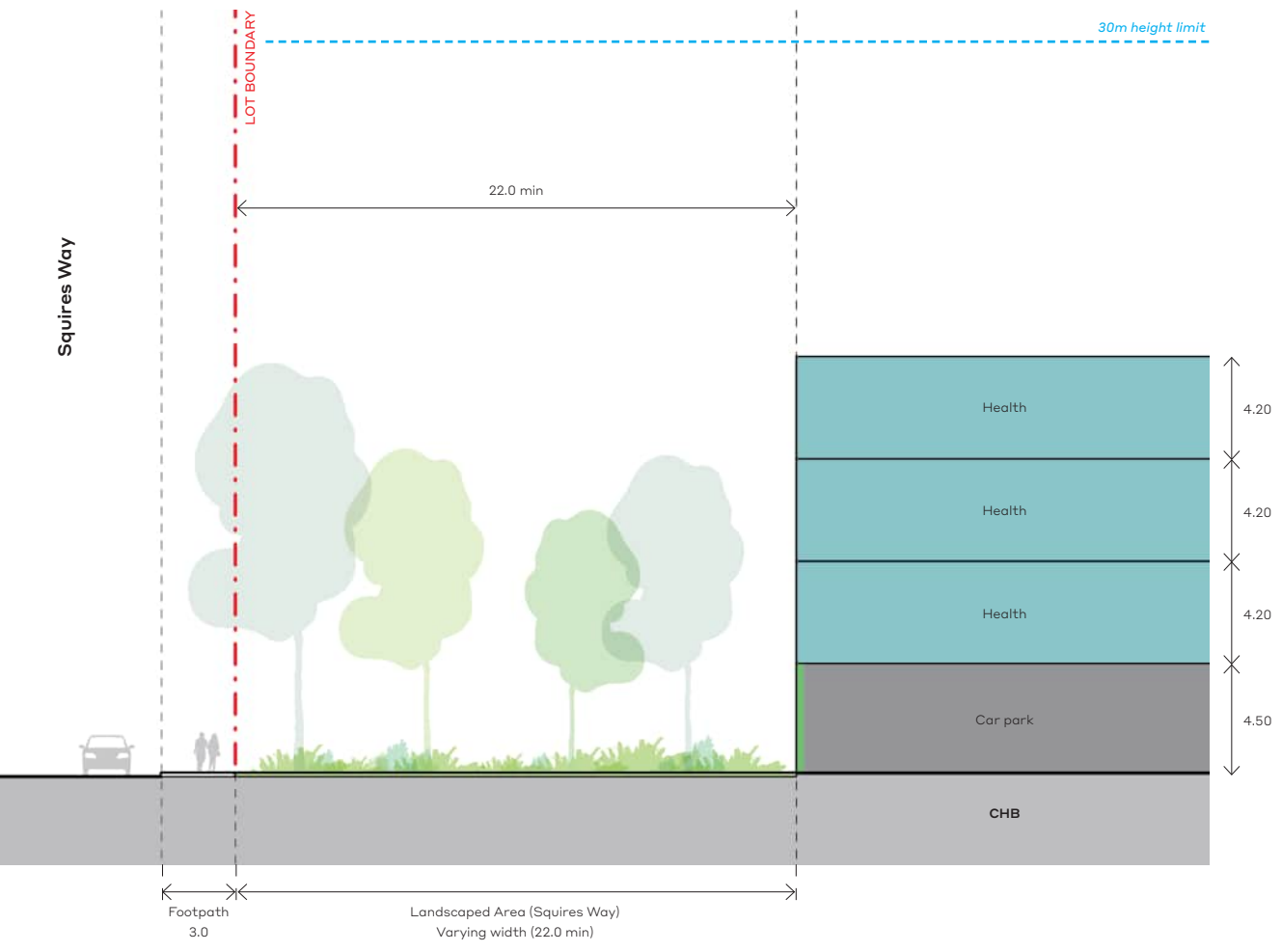
87 CHB - Section C



85 Location map

Section D

CHB - Squires Way



86 CHB - Section D

LEGEND

- Lot boundary
- Health use
- Health use articulation zones
- Car park
- Green wall / art wall

Note:

The articulation zones shown above sit within the overall building envelope (see Figure 80) and are not representative of the building line.

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# **SLEEVED USES AND ACTIVE FRONTAGES**





# 8.0 Sleeved Uses and Active Frontages

## 8.1 High Street (Road 2)

**Objectives:**

- A. To create a safe and walkable environment for local residents by providing opportunities for activation and passive surveillance while enabling through traffic and access to the Green Heart.
- B. To maximise entries, retail stores, foyers and connections on and into High Street.

**Guidelines:**

General

- 1. ILA (Stage 1), ILA (Stage 2) and the future CHB are to be built to the street edge to encourage activity at street level.
- 2. The Cafe Plaza and Intergenerational Plaza are to be positioned along High Street to create a place of gathering at the intersection of High Street and the Pedestrian Spine.
- 3. Outdoor seating and/or gathering spaces on the Green Heart side of the High Street are to be provided to encourage community interaction and social connection.

ILA (Stage 1) interface

- 4. Sleeved research and education uses are to be provided in ILA (Stage 1) along High Street.
- 5. The Intergenerational Hub is to be provided at the south-eastern corner of ILA (Stage 1), adjacent to the Intergenerational Plaza, and is to be highly prominent visually.

ILA (Stage 2) interface

- 6. Sleeved research and education uses are to be provided in ILA (Stage 2) along High Street.
- 7. Sleeved retail (cafe) and the primary ILA lobby entry are to be provided in ILA (Stage 2) off the Cafe Plaza.

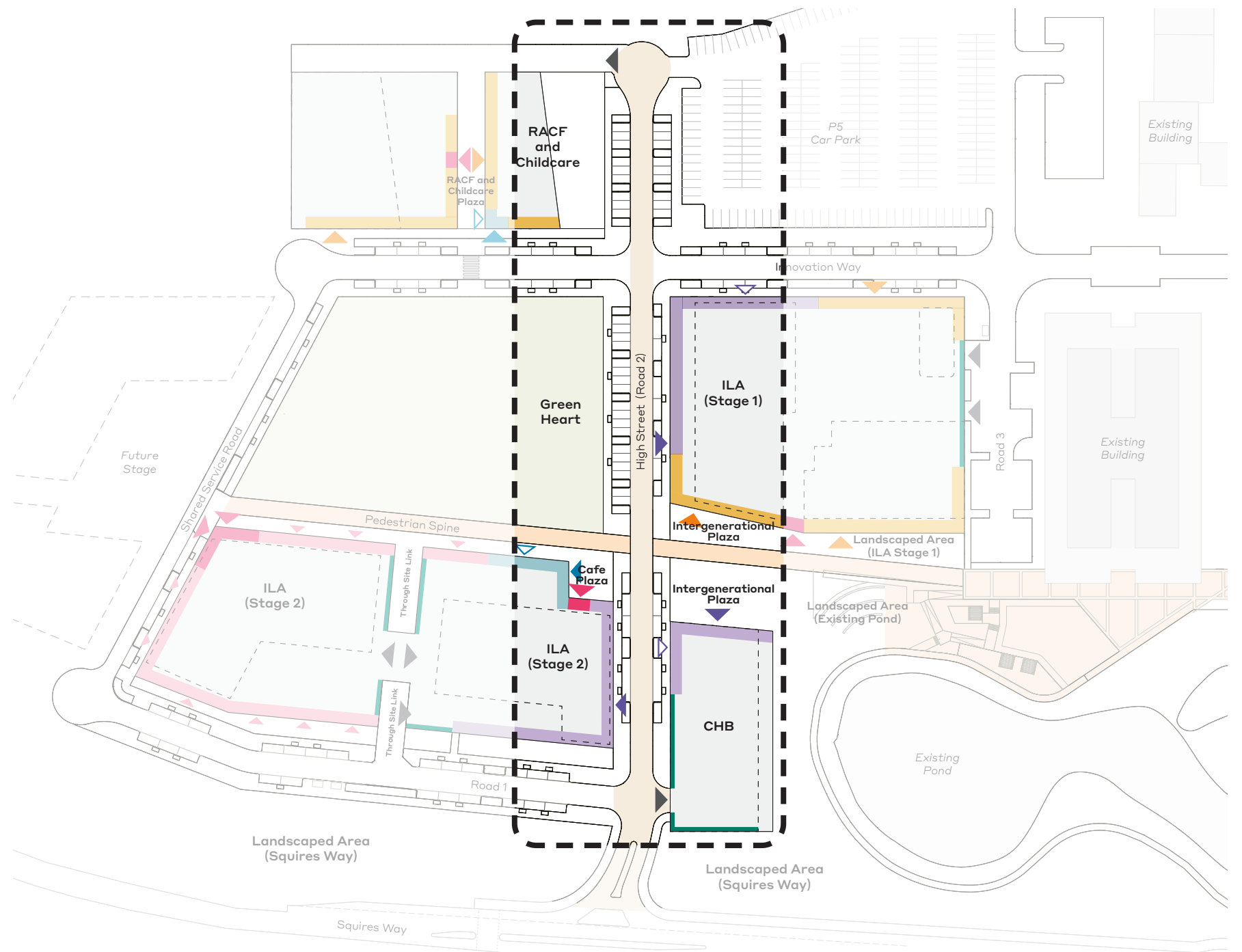
CHB interface\*

- 8. Secondary foyers and entries to the CHB may be provided along High Street, with its vehicular entry located along its eastern edge away from the Pedestrian Spine.
- 9. Parking and service areas within the CHB are to be sleeved with active uses or screened by a green / art wall where they are unsleeved.

*\*The CHB will be subject to a separate future SSDA.*

RACF and Childcare

- 10. Vehicular drop-off and pick-up for the RACF and Childcare, which includes an undercover porte cochere for the RACF, are to be provided off the western end of High Street. Ensure that a safe and accessible means of crossing High Street from the P5 car park to the RACF and Childcare entries along Innovation Way is provided.



88 Sleeved uses and active frontages

SCALE 1:1500 @ A3

#### LEGEND

Podium envelope	Retail uses	Ground floor ILA unit entry	Retail uses entry
Building envelope above	ILA / RACF lobbies	Community / communal uses entry	Secondary retail entry
Community / communal uses	ILA units	Research and education entry	Vehicular / service entry
Research and education uses	Primary ILA / RACF lobby entry	Secondary research and education entry	Green / art walls



## 8.2 Pedestrian Spine

**Objectives:**

- A. To provide lively edges and links with good pedestrian amenity from the existing Innovation Campus through the H&WP to future development to the south.
- A. To provide a higher intensity of community, communal and health uses along the northern portion of the Pedestrian Spine, and passive surveillance towards the Green Heart along the southern portion of the Pedestrian Spine.
- B. To provide spaces for gathering that extend off the Pedestrian Spine.
- C. To align with the objectives of the WDCP around having buildings set in a landscaped setting.
- D. To provide clear visual connections between the Green Heart, Pedestrian Spine and the existing pond, and improve physical connections to the existing pond.

**Guidelines:**

General

- 1. The Intergenerational Plaza, Cafe Plaza and Landscaped Areas (ILA Stage 1 and Existing Pond) are to be positioned along the Pedestrian Spine. These plazas and open spaces are to have varying spatial and experiential characters to differentiate them from one another, while also integrating suitable unifying landscape elements that reinforces the precinct's landscape setting.
- 2. The Pedestrian Spine is to be accessible by pedestrians only, with facility for access by emergency vehicles.
- 3. A connection node between the existing and new portion of the Pedestrian Spine with accessible connections down to the existing seating area along the pond is to be provided in the form of the Landscaped Area (Existing Pond), including appropriate ramping and landscaping to enable this connection.

ILA (Stage 1) interface

- 4. The eastern edge of the ILA (Stage 1) podium is to be set out as indicated in Figure 50 to open up sight lines between the Green Heart, Pedestrian Spine and existing pond.
- 5. Sleeved community and communal uses, including resident Lounge Facilities, are to be provided in ILA (Stage 1), adjacent to the Landscaped Area (ILA Stage 1).
- 6. The Intergenerational Hub is to be provided at the south-eastern corner of ILA (Stage 1), adjacent to the Intergenerational Plaza, and is to be highly prominent visually.
- 7. The primary ILA lobby entry is to be provided along the Pedestrian Spine.

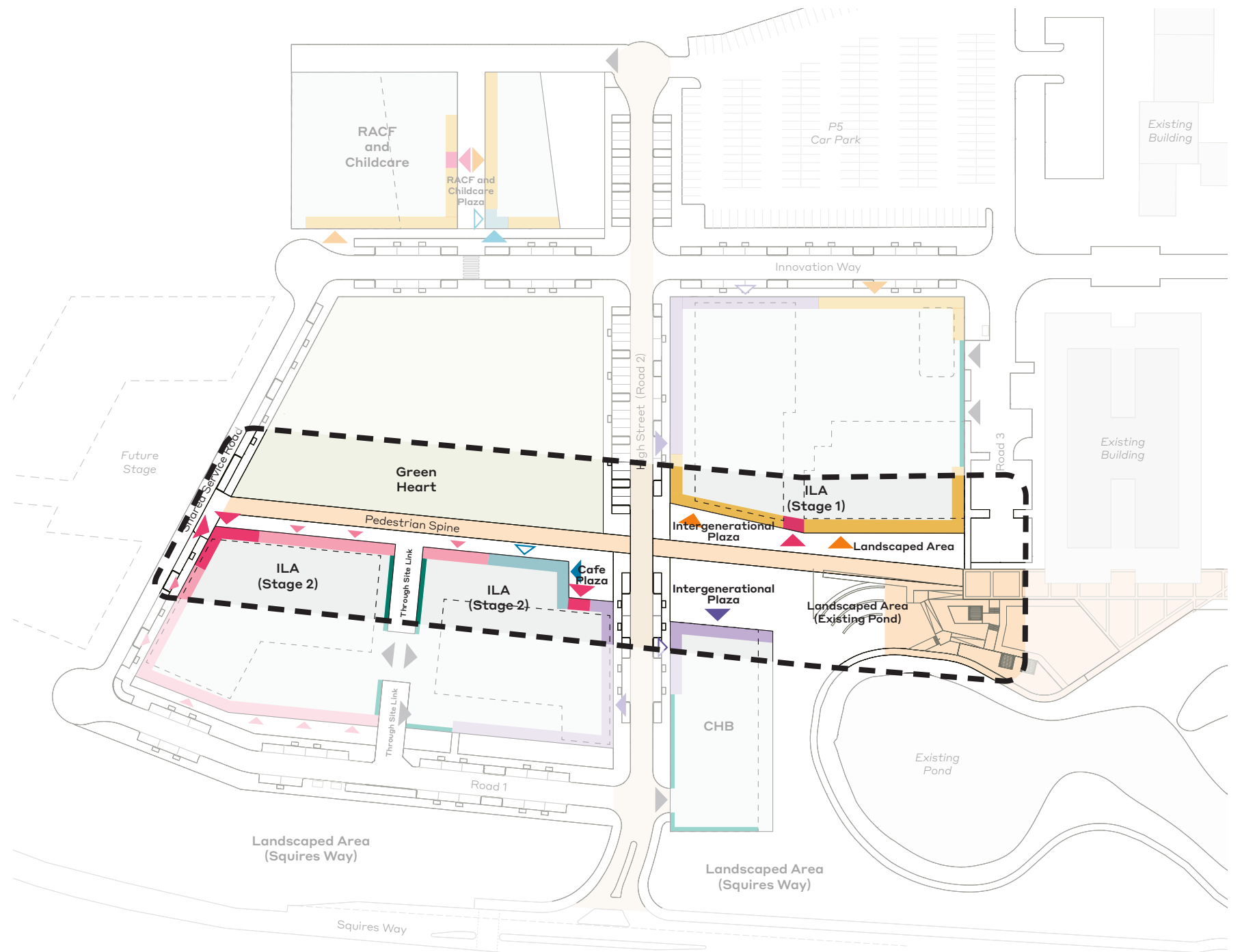
ILA (Stage 2) interface

- 8. Sleeved ground floor ILA units with private gardens, ILA lobbies and a cafe are to be provided in ILA (Stage 2) along the Pedestrian Spine. A secondary cafe entry may be provided along this edge. Maximise entries to ground floor ILA units along this edge.
- 9. A 4m wide landscape buffer is to be provided along the western edge of the ILA (Stage 2). It is to be designed in co-ordination with the landscape elements of the Green Heart to ensure a consistent landscape approach within the H&WP, while still allowing clear lines of sight to facilitate passive surveillance of the Pedestrian Spine and Green Heart.
- 10. The Through Site Link is to be centrally located in ILA (Stage 2). Vehicle access from the Through Site Link is not to be provided to the Pedestrian Spine. Refer to Section 5.4.6 for objectives and guidelines for the Through Site Link.

CHB interface\*

- 11. Health uses and the primary entry to the CHB are to be located along the Pedestrian Spine to co-locate it with the Intergenerational Plaza and Intergenerational Hub in ILA (Stage 1).\*

*\*The CHB will be subject to a separate future SSDA.*



89 Sleeved uses and active frontages

SCALE 1:1500 @ A3

#### LEGEND

	Podium envelope		Retail uses		Ground floor ILA unit entry		Retail uses entry
	Building envelope above		ILA / RACF lobbies		Community / communal uses entry		Secondary retail entry
	Community / communal uses		ILA units		Research and education entry		Vehicular / service entry
	Research and education uses		Primary ILA / RACF lobby entry		Secondary research and education entry		Green / art walls



# 8.3 Innovation Way

## Objectives:

- A. To maximise entries, foyers and connections on and into Innovation Way.
- B. To provide lively edges and links with good pedestrian amenity from the existing Innovation Campus through the H&WP to future development to the south.
- C. To align with the objectives of the WDCP around having buildings set in a landscaped setting.

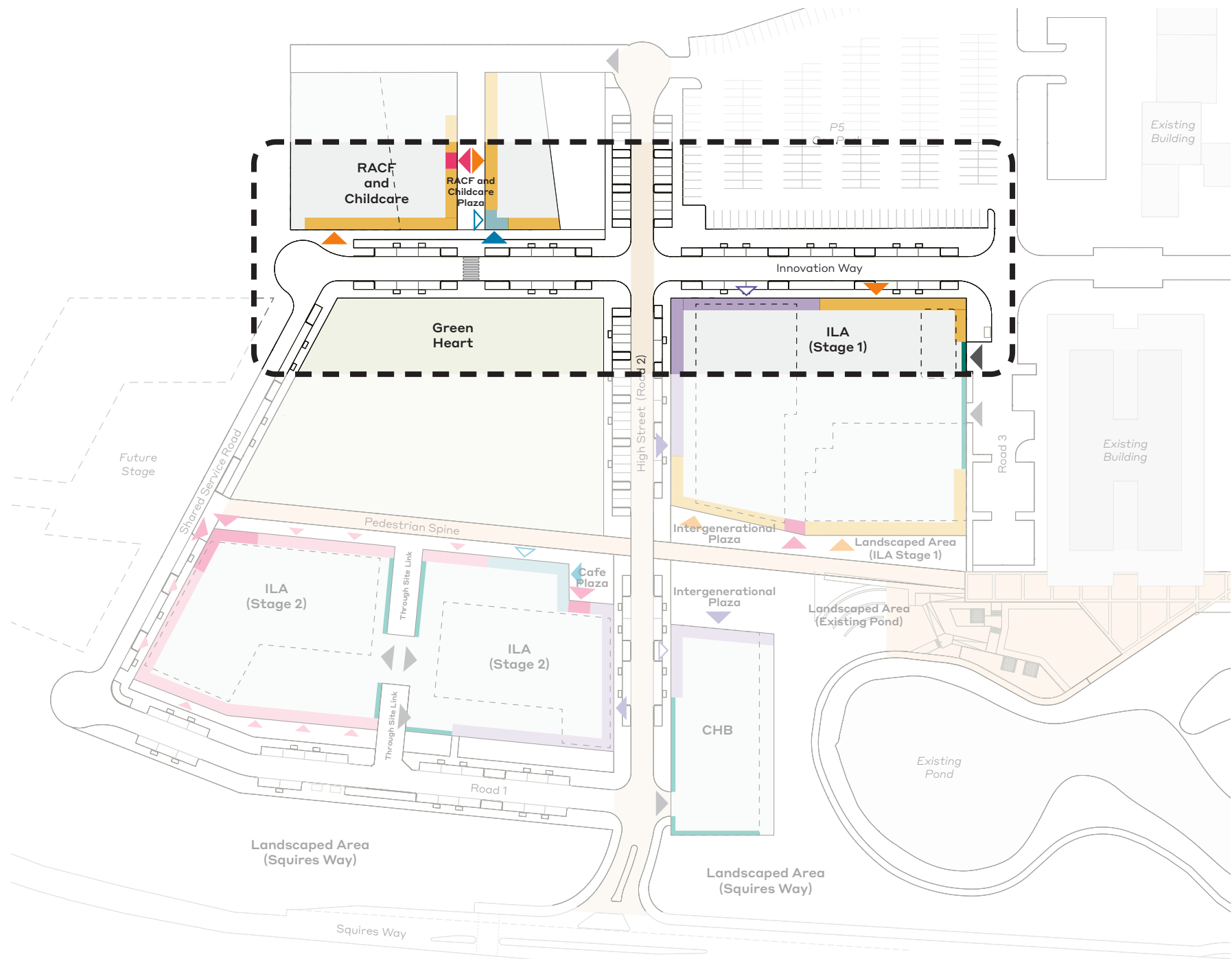
## Guidelines:

### ILA (Stage 1) interface

- 1. Sleeved health, teaching, learning and research uses as well as community and communal areas, including a Wellness Centre, are to be provided in ILA (Stage 1) along Innovation Way. This edge may also include landscaped courtyards for outdoor activities or learning, reinforcing the H&WP's landscape setting.

### RACF and Childcare interface

- 2. A pedestrian crossing is to be provided in the southern portion of Innovation Way to provide residents, students, staff and visitors with clear visual connections as well as an accessible and safe physical connection from the RACF and Childcare to the Green Heart.
- 3. The RACF and Childcare Plaza is to be provided mid-block, close to the pedestrian crossing, with entries to the RACF and Childcare located off this plaza.
- 4. Small retail (cafe) and community uses are to be located along Innovation Way to provide activation along this edge.
- 5. A 2.8m wide landscape buffer is to be provided along the eastern edge of the RACF and Childcare. It is to be designed in co-ordination with the landscape elements of the Green Heart to ensure a consistent landscape approach within the H&WP, while still allowing clear lines of sight to facilitate passive surveillance of Innovation Way and the Green Heart.



90 Sleeved uses and active frontages

SCALE 1:1500 @ A3

### LEGEND

Podium envelope	Retail uses	Ground floor ILA unit entry	Retail uses entry
Building envelope above	ILA / RACF lobbies	Community / communal uses entry	Secondary retail entry
Community / communal uses	ILA units	Research and education entry	Vehicular / service entry
Research and education uses	Primary ILA / RACF lobby entry	Secondary research and education entry	Green / art walls

# 8.4 Road 1

## Objectives:

- A. To provide lively edges and links with good pedestrian amenity connecting High Street with the future development to the south.
- B. To ensure that ILA (Stage 2) presents well to Squires Way.
- C. To align with the objectives of the WDCP around having buildings set in a landscaped setting.

## Guidelines:

### ILA (Stage 2) interface

- 1. Sleeved ground floor ILA units with private gardens are to be provided in ILA (Stage 2) along the southern portion of Road 1. Maximise entries to ground floor ILA units along this edge.
- 2. The Through Site Link is to be centrally located in ILA (Stage 2). The ILA (Stage 2) loading dock and car park entries are to be located off this link and not off Road 1. Position of vehicular/service entry points shown in Figure 91 are indicative only and are subject to detailed design. Refer to Section 5.4.6 for objectives and guidelines for the Through Site Link.
- 3. Sleeved research and education uses are to be provided in ILA (Stage 2) along the northern portion of Road 1. The extent of unsleeved parking or services along Road 1 is not to exceed 16m. The full extent of the unsleeved parking or services is to be screened by a green / art wall.
- 4. Exposed service apertures such as loading docks are to integrate green planted walls or architectural screening.
- 5. A 3-6m wide landscape buffer is to be provided along the eastern edge of ILA (Stage 2).
- 6. Ensure clear lines of sight to facilitate passive surveillance from ground floor ILA units to Road 1.

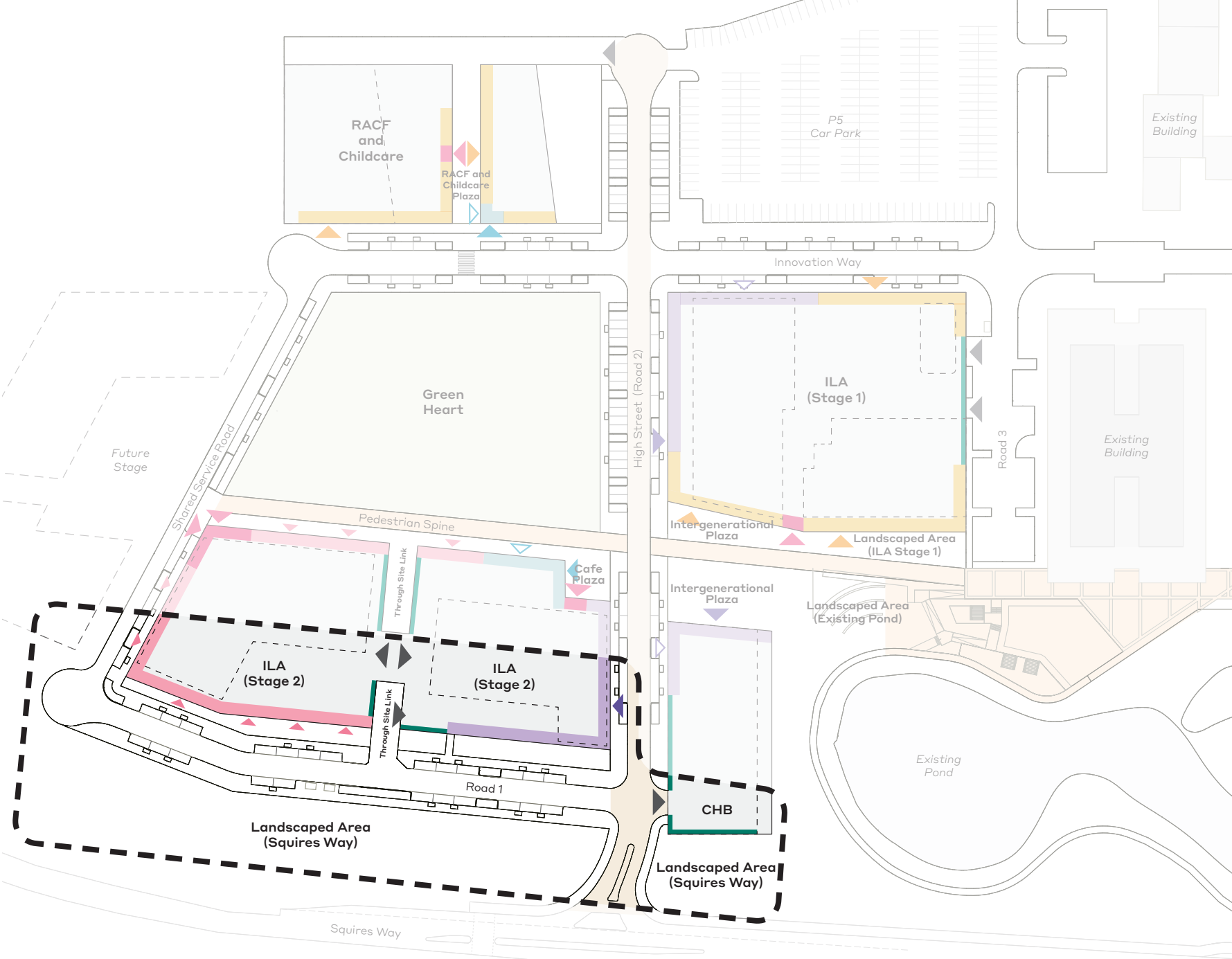
### Squires Way interface

- 7. Landscaped Area (Squires Way) is to be provided in between Road 1 and Squires Way in accordance with Section 5.7.1.

### CHB interface\*

- 8. Parking and service areas within the CHB are to be sleeved with active uses or screened by a green / art wall where they are unsleeved.
- 9. Suitable planting and/or landscaped features are to be provided to the east of the CHB in the form of the Landscaped Area (Squires Way).

\*The CHB will be subject to a separate future SSDA.



91 Sleeved uses and active frontages

SCALE 1:1500 @ A3

LEGEND			
	Podium envelope		Retail uses
	Building envelope above		ILA / RACF lobbies
	Community / communal uses		ILA units
	Research and education uses		Primary ILA / RACF lobby entry
	Ground floor ILA unit entry		Retail uses entry
	Community / communal uses entry		Secondary retail entry
	Research and education entry		Vehicular / service entry
	Secondary research and education entry		Green / art walls



# 8.5 Shared Service Road

## Objectives:

- A. To provide emergency and service vehicle access.
- B. To provide passive surveillance towards future stage development to the south with good pedestrian amenity along this edge.

## Guidelines:

### General

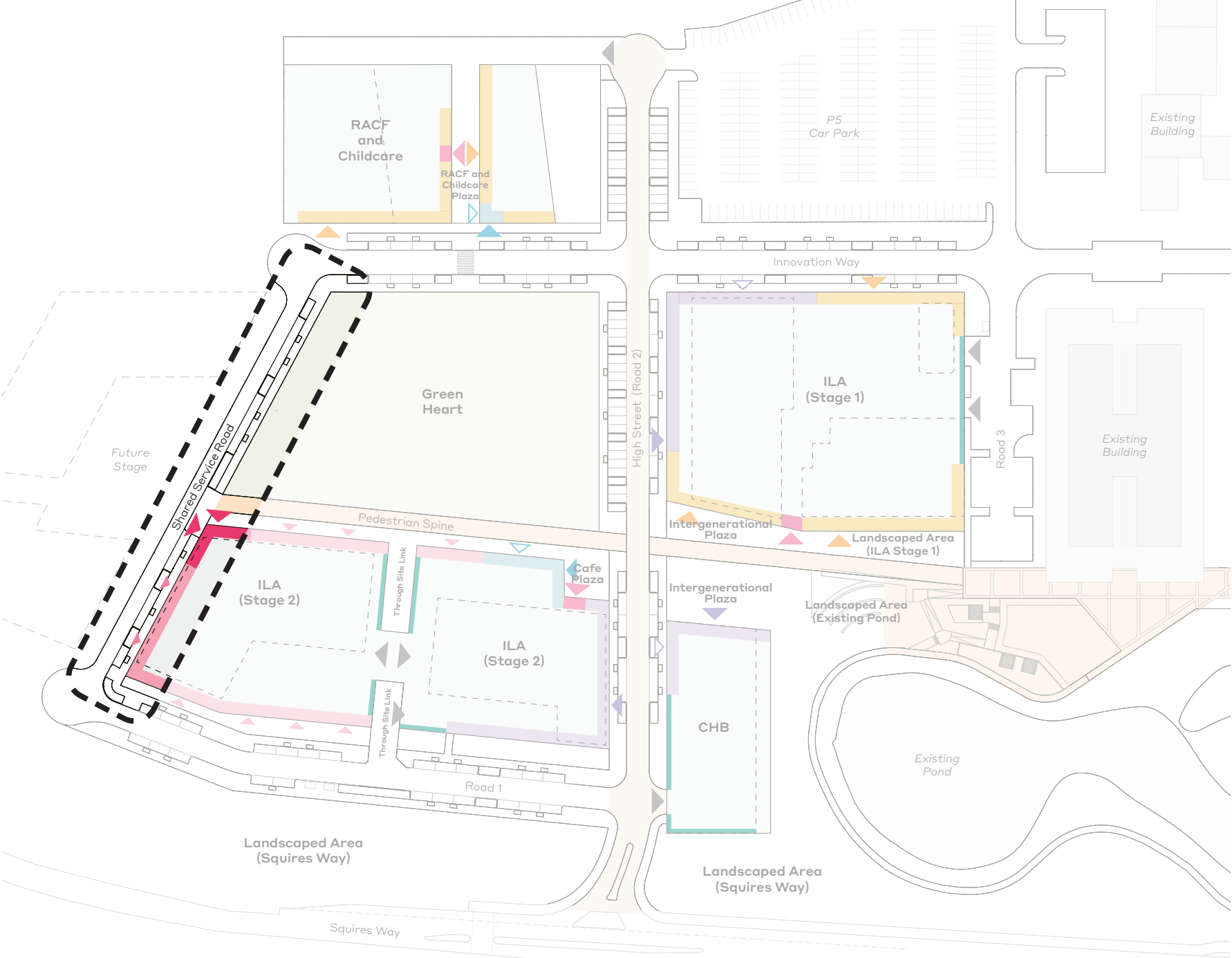
- 1. The Shared Service Road is to be designed in such a way that it can be widened to become a two-way street as part of the future stage development to the south.

### ILA (Stage 2) interface

- 2. Sleeved ground floor ILA units with private gardens and the ILA lobby are to be provided in ILA (Stage 2) along the Shared Service Road. Provide entries to ground floor ILA units along this edge.

### Green Heart interface

- 3. Outdoor seating and/or gathering spaces are to be provided on the southern side of the Green Heart to encourage community interaction and social connection with future development to the south.



92 Sleeved uses and active frontages

SCALE 1:1500 @ A3

### LEGEND

Podium envelope	Retail uses	Ground floor ILA unit entry	Retail uses entry
Building envelope above	ILA / RACF lobbies	Community / communal uses entry	Secondary retail entry
Community / communal uses	ILA units	Research and education entry	Vehicular / service entry
Research and education uses	Primary ILA / RACF lobby entry	Secondary research and education entry	Green / art walls

8.6 Road 3

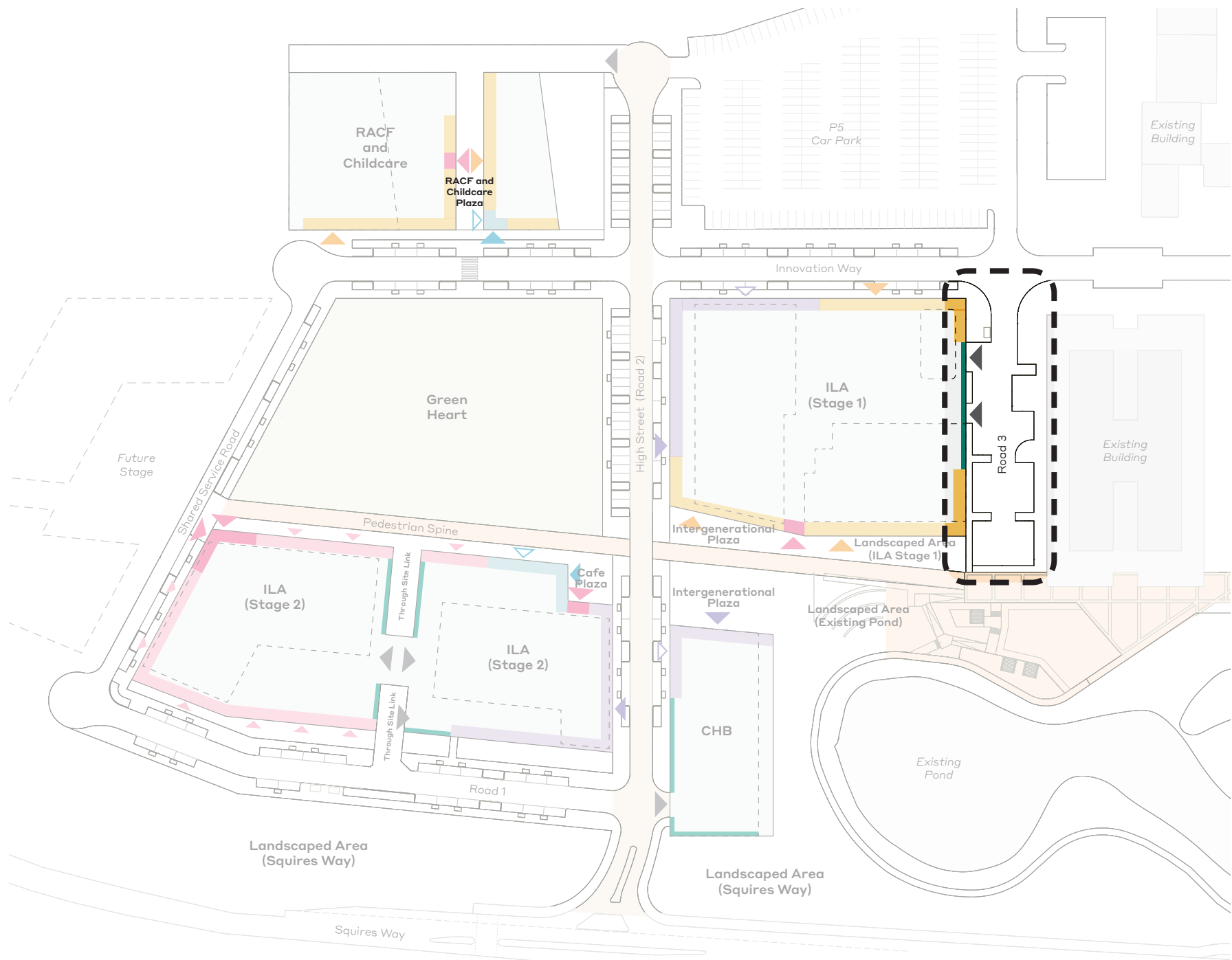
Objectives:

- A. To ensure that ILA (Stage 1) presents well to Road 3 and the existing Innovation Campus.

Guidelines:

ILA (Stage 1) interface

- 1. Sleeved community and communal uses in ILA (Stage 1) are to wrap around the corner of the building from Innovation Way to Road 3 for a minimum length of 12m.
- 2. Sleeved community and communal uses in ILA (Stage 1) are to wrap around the corner of the building from the Pedestrian Spine to Road 3 for a minimum length of 15m.
- 3. The ILA (Stage 1) loading dock and car park entries are to be located off Road 3.
- 4. The extent of unsleeved parking or services along Road 3 is not to exceed 40m. The full extent of the unsleeved parking or services is to be screened by a green / art wall.
- 5. Exposed service apertures such as loading docks are to integrate green planted walls or architectural screening.



93 Sleeved uses and active frontages

SCALE 1:1500 @ A3

LEGEND			
Podium envelope	Retail uses	Ground floor ILA unit entry	Retail uses entry
Building envelope above	ILA / RACF lobbies	Community / communal uses entry	Secondary retail entry
Community / communal uses	ILA units	Research and education entry	Vehicular / service entry
Research and education uses	Primary ILA / RACF lobby entry	Secondary research and education entry	Green / art walls





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